



Illinois Environmental Protection Agency

Bureau of Water • 1021 N. Grand Avenue E. • P.O. Box 19276 • Springfield • Illinois • 62794-9276

Division of Water Pollution Control ANNUAL FACILITY INSPECTION REPORT

for NPDES Permit for Storm Water Discharges from Separate Storm Sewer Systems (MS4)

This fillable form may be completed online, a copy saved locally, printed and signed before it is submitted to the Compliance Assurance Section at the above address. Complete each section of this report.

Report Period: From March, 2020 To March, 2021

Permit No. ILR40 0638

MS4 OPERATOR INFORMATION: (As it appears on the current permit)

Name: Village of Minooka Mailing Address 1: 121 E McEvilly Road

Mailing Address 2: _____ County: Grundy

City: Minooka State: IL Zip: 60447 Telephone: 815-467-8868

Contact Person: Ryan Anderson Email Address: ryan.anderson@minooka.com
(Person responsible for Annual Report)

Name(s) of governmental entity(ies) in which MS4 is located: (As it appears on the current permit)

Grundy County Will County

Kendall County

THE FOLLOWING ITEMS MUST BE ADDRESSED.

A. Changes to best management practices (check appropriate BMP change(s) and attach information regarding change(s) to BMP and measurable goals.)

- | | | | |
|--|--------------------------|---|--------------------------|
| 1. Public Education and Outreach | <input type="checkbox"/> | 4. Construction Site Runoff Control | <input type="checkbox"/> |
| 2. Public Participation/Involvement | <input type="checkbox"/> | 5. Post-Construction Runoff Control | <input type="checkbox"/> |
| 3. Illicit Discharge Detection & Elimination | <input type="checkbox"/> | 6. Pollution Prevention/Good Housekeeping | <input type="checkbox"/> |

B. Attach the status of compliance with permit conditions, an assessment of the appropriateness of your identified best management practices and progress towards achieving the statutory goal of reducing the discharge of pollutants to the MEP, and your identified measurable goals for each of the minimum control measures.

C. Attach results of information collected and analyzed, including monitoring data, if any during the reporting period.

D. Attach a summary of the storm water activities you plan to undertake during the next reporting cycle (including an implementation schedule.)

E. Attach notice that you are relying on another government entity to satisfy some of your permit obligations (if applicable).

F. Attach a list of construction projects that your entity has paid for during the reporting period.

Any person who knowingly makes a false, fictitious, or fraudulent material statement, orally or in writing, to the Illinois EPA commits a Class 4 felony. A second or subsequent offense after conviction is a Class 3 felony, (415 ILCS 5/44(h))


Owner Signature:

Ryan Anderson

Printed Name:

6/2/21
Date:

Supt. of Public Works

Title:

EMAIL COMPLETED FORM TO: epa.ms4annualinsp@illinois.gov

or Mail to: ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
WATER POLLUTION CONTROL
COMPLIANCE ASSURANCE SECTION #19
1021 NORTH GRAND AVENUE EAST
POST OFFICE BOX 19276
SPRINGFIELD, ILLINOIS 62794-9276

IL 532 2585
WPC 691 Rev 6/10
This Agency is authorized to require this information under Section 4 and Title X of the Environmental Protection Act (415 ILCS 5/4, 5/39). Failure to disclose this information may result in: a civil penalty of not to exceed \$50,000 for the violation and an additional civil penalty of not to exceed \$10,000 for each day during which the violation continues (415 ILCS 5/42) and may also prevent this form from being processed and could result in your application being denied. This form has been approved by the Forms Management Center.

Village of Minooka

NPDES Permit No. ILR40 0638

Annual Facility Inspection Report Attachment 1

March 2020 to March 2021

June 1, 2021

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Item E: Notice that you are relying on another governmental entity to satisfy some of your permit obligations (if applicable).	6
Item F: List of construction projects that your entity has paid for during the reporting period.	6
Sample Documentation for Minimum Control Measures	7+

Any questions or comments regarding this report shall be directed to either of the following:

Mr. Ryan Anderson, Supt. of Public Works, Village of Minooka
815-467-8868 or ryan.anderson@minooka.com

Mr. Kevin J. Biscan, PE, PLS, Robinson Engineering, Ltd.
815-464-2692 or kbiscan@reltd.com



Village of Minooka, NPDES Permit No. ILR40 0638
Annual Facility Inspection Report – Attachment 1

March 2020 to March 2021

June 1, 2021

Item A: Description of Changes to BMPs

There have been no changes in Village BMPs during this cycle.

**Item B: Status of compliance with permit conditions
and assessment of minimum control measures**

The Village believes that the BMPs completed within the reporting period are appropriate for the permit conditions. The status of each BMP is as follows:

Public Education and Outreach

1. **A1: Distributed Paper Material (Newsletter)**

The Village Newsletter is used to communicate information to the public. Sample newsletters from throughout the year are enclosed. With each newsletter mailing, approximately 5,500 copies are mailed out to Village residents.

2. **A4: Community Event**

The Village's annual Village-wide Cleanup Day was canceled due to inclement weather. All residents can participate. This BMP coincides with BMP B7. The next Cleanup Day will be held in the fall of 2021.

3. **A6: Other Public Education (Website)**

The Village Website is used to post information for Public Works throughout the reporting cycle (samples enclosed).

Public Participation and Involvement

4. **B4: Public Hearing**

The Village will now hold its informational Public Hearing on an annual basis. It is planned to be held during the next reporting cycle.

5. **B7: Other Public Involvement (Cleanup Day)**

This Village goal is to hold at least one Village-wide Cleanup Day through the year. On average, more than 50 people participate in the Cleanup Day and collect numerous 35-gallon bags of refuse from roadside ditches, parks, vacant lots, etc., throughout the

Village. Within the next cycle, the Cleanup Day will be held in the fall of 2021 and will be reported again next cycle.

Illicit Discharge Detection and Elimination

6. C1: Storm Sewer Map Preparation

The Village has a Storm Sewer Atlas map on which storm sewer information is shown. The original atlas is dated 7/13/10 and continues to undergo further review. The map is updated as new storm sewer is installed, it will continue to be updated with any changes in the future. Essentially, it is up to date.

7. C2: Regulatory Control Program (Ordinance)

The Village Sewer Use Ordinance addresses issues related to illicit Discharge. The Village continues to enforce this ordinance and other development ordinances that include soil erosion and sediment control through the plan review process. The Village ordinances are posted on the website (see enclosed).

The Village Board passed an Illicit Discharge and Connection Ordinance at the March 2016 Village Board meeting enacting stricter requirements for enforcement of illicit discharges and connections. (Copy of ordinance previously submitted).

8. C7: Visual Dry Weather Screening

The Village last prepared an outfall location aerial photo exhibit in July 2012. The Village attempts to inspect its outfalls and perform its dry weather Outfall Inspections at least once during each reporting cycle.

9. C10: Other Illicit Discharge Controls (Visual Monitoring Inspections)

Visual Monitoring Inspections at upstream and downstream locations were performed during this cycle. Since this is now an annual requirement, the BMP has been revised to include annual Monitoring Inspections at upstream and downstream locations within the Village. The goal is to continue to conduct these inspections in the future. As part of the Village's aquatic weed control program, the Village contracted with Premier Ponds of Illinois to perform testing of several ponds within the Village.

Construction Site Runoff Control

10. D1: Regulatory Control Program (Ordinance)

The Village ordinance Title 4 (Building Regulations) - Chapter 9 (Soil Erosion and Sediment Control) regulates soil erosion and sediment control in runoff from construction sites. The Village continues to enforce this ordinance and other development ordinances through the plan review process. The Village ordinances are posted on the website (see enclosed).

11. D2: Erosion and Sediment Control BMPs

Erosion and Sediment Control BMPs are required under the current ordinance. These requirements are enforced through the plan review process.

12. D4: Site Plan Review Procedures

Development projects are reviewed under local County ordinances by Village Staff and/or engineering consultants, especially regarding stormwater and erosion and sediment control measures. Projects over one acre are required to obtain a Notice of Intent prior to construction. A SWPPP is required with plan sets. A copy of the written Site Plan Review Process is enclosed.

13. D6: Site Inspection/Enforcement Procedures

Weekly inspection reports are required from developers of active projects. Periodic or surprise audit inspections are conducted by the Village or its consultant as needed. (Copies attached)

Post-Construction Runoff Control

14. E2: Regulatory Control Program (Ordinance)

The Village ordinance Title 4 (Building Regulations) - Chapter 9 (Soil Erosion and Sediment Control) regulates soil erosion and sediment control in runoff from construction sites. The Village continues to enforce this ordinance and other development ordinances through the plan review process. The Village ordinances are posted on the website (see enclosed).

15. E3: Long Term O&M Procedures

These are required and reviewed where applicable during the site plan review process.

16. E4: Pre-Construction Review of BMP Designs

The ordinance requirements are enforced during the site plan review stage of a development. The site plan reviews include a review of the BMP designs.

17. E5: Site Inspections During Construction

Weekly inspection reports are required from developers of active projects. Periodic or surprise audit inspections are conducted by the Village or its consultant as needed.

18. E6: Post-Construction Inspections

Stormwater management systems are inspected during the year depending on staff availability. Inspected storm sewers and structures that are found to be in need of maintenance are cleaned, vacuumed, or jetted as needed. Several event forms are enclosed illustrating a sampling of the inspections and work performed throughout the year.

Pollution Prevention and Good Housekeeping

19. F1: Employee Training Program

The goal is to conduct at least one training session per reporting cycle. The Public Works staff typically discusses proper procedures for disposal of oil, salt storage and spreading, and snow-plowing. No training beyond that which is typical was conducted during this

cycle. Village Staff participated Lower DuPage River Watershed Coalition Activities and Workshops. See attached .

20. F2: The Inspection and Maintenance Program

Routine maintenance of Village streets, storm sewer, ditches, creeks and stormwater facilities is part of the Public Works responsibilities. This includes sweeping, vacuuming, jetting, repair, and debris, branch and leaf collection. The Village also has a Mosquito Control Program, tree maintenance and removal, snow removal and ice control, and yard waste services.

- a. Street-sweeping is performed regularly via contracted arrangements. For example, materials and decaying leaves were picked up from along 120 miles of Village streets. Copies of sweeping Invoices are attached.
- b. Catch Basins are regularly inspected and cleaned as needed during the reporting period.
- c. Storm Sewers were inspected and cleaned or jetted on an as needed and irregular basis during the reporting cycle.
- d. Detention Pond Maintenance is performed as needed throughout the cycle.
- e. Maintenance Yard is kept as clean and tidy as possible with current staffing.

21. F3: Municipal Operations Storm Water Control

The Municipal Operations Program for Storm Water Control is ongoing. The Village does cleaning and removal of debris in ditches, creeks and detention basins on an as needed basis.

By Proclamation, the Village endorsed the Greenest Region Compact 2 proposed by the Metropolitan Mayors Caucus which will guide coordinated efforts toward enhanced quality of life for residents, protection and stewardship of the environment and sustainable economic vitality. (Copy of Proclamation previously submitted.)

22. F4: Municipal Operations Waste Disposal

Maintenance Records and Logs are kept for routine maintenance of Village vehicles and equipment. All fluid changes are performed by outside contractors and fluid disposal is included in their contract. Any waste oils from minor onsite activities are collected and put into waste oil containers only. Disposal of collected materials was not required in this reporting period.

23. F5: Flood Management/Assessment Guidelines

The Village Ordinance includes Title 4 (Building Regulations) – Chapter 7 (Flood Hazard Areas) which enforces floodplain and flood hazard regulations for any development in or near to floodplains. The Village continues to enforce this ordinance and other development ordinances through the plan review process. The Village ordinances are posted on the website.

Item C: Results of information collected and analyzed, monitoring data (if any).

No illicit discharges or incidents of non-compliance were identified. No chemical samples were taken.

The U.S. Census Bureau Quick Facts for the Village of Minooka demographics is attached.

Item D: Summary of stormwater activities you plan to undertake during the next reporting cycle (and implementation schedule).

See the attached Summary that is numbered to correspond with the original Notice of Intent.

Item E: Notice that you are relying on another governmental entity to satisfy some of your permit obligations (if applicable).

The Village relies on Will County for its residential recycling program for electronic waste. The Village does not rely on any other government entity to satisfy NPDES permit obligations at this time.

Item F: List of construction projects that your entity has paid for during the reporting period.

The Village constructed the Aux Sable Park project on the north side of town during this reporting period.

Sample Documentation for Minimum Control Measures

The remaining sheets in this report include some available documentation for various Best Management Practices discussed under Item B.

VILLAGE OF MINOOKA

SUMMARY AND SCHEDULE OF PROPOSED BEST MANAGEMENT PRACTICES

MINIMUM CONTROL MEASURE		PREVIOUSLY COMPLETED	MAR-14	MAR-15	MAR-16	MAR-17	MAR-18	MAR-19	MAR-20	MAR-21
A. Public Education and Outreach on Stormwater Impacts										
A1	Literature Distribution (brochure, newsletter)	X	X	X	X	X	X	X	X	X
A4	Community Event (Cleanup day)	X	X	X	X	D	X	X	D	D
A6	Other Public Education (website)	X	X	X	X	X	X	X	X	X
B. Public Involvement/ Participation										
B4	Public Hearing	X		D	D	D	D	D	D	D
B7	Other Public Involvement (Cleanup day)	X	X	X	X	X	X	D	D	D
C. Illicit Discharge Detection and Elimination										
C1	Storm Sewer Map Assessment	X								
	Storm Sewer Map Preparation	X								
	Field Identification of Outfalls	X								
	Storm Sewer Map Update Program	X	X	X	X	X	X	X	X	X
C2	Regulatory Control Program	X								
	- Sewer Use Ordinance - Ord 1986-1	X	X	X	X	X	X	X	X	X
C7	Visual Dry Weather Screening Program	X	X	X	X	X	X	D	X	X
C10	Other Illicit Discharge Controls (Monitoring)				D	X	X	X	X	X
D. Construction Site Storm Water Runoff Control										
D1	Regulatory Control Program	X	X	X	X	X	X	X	X	X
	- Review of Current Ordinances	X								
	- Draft of Proposed Ordinance	X								
	- Board Review of Proposed Ordinance	X								
	- Public Hearing on Proposed Ordinance	X								
	- Adopt Ordinance - Chapter 9	X								
	- Enforcement Ongoing	X	X	X	X	X	X	X	X	X
D2	Erosion and Sediment Control BMP's	X	X	X	X	X	X	X	X	X
D4	Site Plan Review Procedures	X	X	X	X	X	X	X	X	X
D6	Site Inspection/Enforcement Procedures	X	X	X	X	X	X	X	X	X
E. Post-Construction Storm Water Management										
E2	Regulatory Control Program	X	X	X	X	X	X	X	X	X
	- Review of Current Ordinances	X								
	- Draft of Proposed Ordinance	X								
	- Board Review of Proposed Ordinance	X								
	- Public Hearing on Proposed Ordinance	X								
	- Adopt Ordinance - Chapter 9	X								
	- Enforcement Ongoing	X	X	X	X	X	X	X	X	X
E3	Long Term O&M Procedures	X	X	X	X	X	X	X	X	X
E4	Pre-Construction Review of BMP Designs	X	X	X	X	X	X	X	X	X
E5	Site Inspections During Construction	X	X	X	X	X	X	X	X	X
E6	Post-Construction Inspections	X	X	X	X	X	X	X	X	X
F. Pollution Prevention/Good Housekeeping										
F1	Employee Training Program	X	D	D	X	X	X	X	X	X
F2	Inspection & Maintenance Program	X	X	X	X	X	X	X	X	X
F3 & F4	Municipal Operations for Stormwater Control and Waste Disposal	X	X	X	X	X	X	X	X	X
	- Audit existing BMP's	X								
	- Audit problem areas	X								
	- Plan new BMP's and Procedures	X								
	- Implement Program	X	X	X	X	X	X	X	X	X
F5	Flood Management/Assess Guidelines - Chap 7	X	X	X	X	X	X	X	X	X

A = Future Required/Planned Annual Activity
R = Future One-time Required/Planned Activity
D = Deferred Activity

X = Completed Activity

QuickFacts

Minooka village, Illinois

QuickFacts provides statistics for all states and counties, and for cities and towns with a *population of 5,000 or more*.

Table

Illinois	Minooka village, Illinois
Population estimates, July 1, 2019, (V2019)	11,397
PEOPLE	
Population	
Population estimates, July 1, 2019, (V2019)	11,397
Population estimates base, April 1, 2010, (V2019)	10,953
Population, percent change - April 1, 2010 (estimates base) to July 1, 2019, (V2019)	4.1%
Population, Census, April 1, 2010	10,924
Population, Census, April 1, 2020	X
Age and Sex	
Persons under 5 years, percent	▲ 7.8%
Persons under 18 years, percent	▲ 30.1%
Persons 65 years and over, percent	▲ 8.0%
Female persons, percent	▲ 50.5%
Race and Hispanic Origin	
White alone, percent	▲ 91.3%
Black or African American alone, percent (a)	▲ 2.6%
American Indian and Alaska Native alone, percent (a)	▲ 0.1%
Asian alone, percent (a)	▲ 1.0%
Native Hawaiian and Other Pacific Islander alone, percent (a)	▲ 0.2%
Two or More Races, percent	▲ 2.2%
Hispanic or Latino, percent (b)	▲ 15.4%
White alone, not Hispanic or Latino, percent	▲ 80.3%
Population Characteristics	
Veterans, 2015-2019	646
Foreign born persons, percent, 2015-2019	4.2%
Housing	
Housing units, July 1, 2019, (V2019)	X
Owner-occupied housing unit rate, 2015-2019	90.6%
Median value of owner-occupied housing units, 2015-2019	\$212,500
Median selected monthly owner costs -with a mortgage, 2015-2019	\$1,743
Median selected monthly owner costs -without a mortgage, 2015-2019	\$722
Median gross rent, 2015-2019	\$1,233
Building permits, 2020	X
Families & Living Arrangements	
Households, 2015-2019	3,711
Persons per household, 2015-2019	2.98
Living in same house 1 year ago, percent of persons age 1 year+, 2015-2019	89.7%
Language other than English spoken at home, percent of persons age 5 years+, 2015-2019	6.9%
Computer and Internet Use	
Households with a computer, percent, 2015-2019	94.9%
Households with a broadband Internet subscription, percent, 2015-2019	93.0%
Education	
High school graduate or higher, percent of persons age 25 years+, 2015-2019	95.8%
Bachelor's degree or higher, percent of persons age 25 years+, 2015-2019	32.6%
Health	
With a disability, under age 65 years, percent, 2015-2019	3.7%
Persons without health insurance, under age 65 years, percent	▲ 3.0%
Economy	
In civilian labor force, total, percent of population age 16 years+, 2015-2019	74.6%
In civilian labor force, female, percent of population age 16 years+, 2015-2019	65.6%
Total accommodation and food services sales, 2012 (\$1,000) (c)	13,590
Total health care and social assistance receipts/revenue, 2012 (\$1,000) (c)	D

Total manufacturers shipments, 2012 (\$1,000) (c)	47,201
Total merchant wholesaler sales, 2012 (\$1,000) (c)	D
Total retail sales, 2012 (\$1,000) (c)	150,436
Total retail sales per capita, 2012 (c)	\$13,554

Transportation

Mean travel time to work (minutes), workers age 16 years+, 2015-2019	32.7
--	------

Income & Poverty

Median household income (in 2019 dollars), 2015-2019	\$92,902
Per capita income in past 12 months (in 2019 dollars), 2015-2019	\$34,823
Persons in poverty, percent	▲ 5.0%

BUSINESSES

Businesses

Total employer establishments, 2019	X
Total employment, 2019	X
Total annual payroll, 2019 (\$1,000)	X
Total employment, percent change, 2018-2019	X
Total nonemployer establishments, 2018	X
All firms, 2012	907
Men-owned firms, 2012	447
Women-owned firms, 2012	324
Minority-owned firms, 2012	123
Nonminority-owned firms, 2012	747
Veteran-owned firms, 2012	35
Nonveteran-owned firms, 2012	829


GEOGRAPHY


Geography

Population per square mile, 2010	1,155.6
Land area in square miles, 2010	9.45
FIPS Code	1749607

About datasets used in this table

Value Notes

 Estimates are not comparable to other geographic levels due to methodology differences that may exist between different data sources.

Some estimates presented here come from sample data, and thus have sampling errors that may render some apparent differences between geographies statistically indistinguishable. Click the Quick Info  icon to the row in TABLE view to learn about sampling error.

The vintage year (e.g., V2019) refers to the final year of the series (2010 thru 2019). *Different vintage years of estimates are not comparable.*

Fact Notes

- (a) Includes persons reporting only one race
- (c) Economic Census - Puerto Rico data are not comparable to U.S. Economic Census data
- (b) Hispanics may be of any race, so also are included in applicable race categories

Value Flags

- Either no or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest or upper in open ended distribution.
- F Fewer than 25 firms
- D Suppressed to avoid disclosure of confidential information
- N Data for this geographic area cannot be displayed because the number of sample cases is too small.
- FN Footnote on this item in place of data
- X Not applicable
- S Suppressed; does not meet publication standards
- NA Not available
- Z Value greater than zero but less than half unit of measure shown

QuickFacts data are derived from: Population Estimates, American Community Survey, Census of Population and Housing, Current Population Survey, Small Area Health Insurance Estimates, Small Area Income and F Estimates, State and County Housing Unit Estimates, County Business Patterns, Nonemployer Statistics, Economic Census, Survey of Business Owners, Building Permits.

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The Village of Minooka

www.minooka.com

PLAY BALL!!!

THE JASON CLEARWATER FUND AND "D" CONSTRUCTION TEAM UP
TO DONATE RENOVATIONS AT THE MINOOKA MISTY CREEK BALLFIELD



INSIDE FEATURES

- Business Spotlight* Pg. 3
- Library Programs* Pg. 4
- Local Church Events* Pg. 8

To Serve You Better
**Welcome to
Your Newsletter**



From Your Village President

Dear Friends,

A quick update and a silver lining for everyone that has had a tough 2020, with little to no access to outside events! If you have been north of town lately, specifically west Holt Road, you will see substantial construction taking place at the new Aux Sable Springs Park Project. With help from a State of Illinois Grant, the Village of Minooka started the 120 acre project in the spring of 2020. In December of this year, our plan is to open the new park for access, mainly for residents wanting to walk the woods, fish and canoe the Aux Sable Creek. Seeding of the soccer fields, baseball/softball complex and the lacrosse field will take place, but most likely won't be ready until the spring of 2021. Our main goal, was not just a new park project, but also preservation of one of our most valuable assets...the Aux Sable Creek. The Aux Sable is one of the most pristine waterways left in Illinois and is home to many flora and fauna, including several hundred year old Oaks, bald eagles and coming next year, restoration of an old prairie.

I hope everyone can get an opportunity to see the new open space this winter and enjoy the new great outdoors!

Stay safe, and God bless,

Pat Brennan, Village President



From the Village Administrator's Desk

Dan Duffy, Village Administrator

This summer, The Jason Clearwater Fund and "D" Construction teamed up to donate the newly renovated Misty Creek Ballfield. "D" Construction donated the lime to raise the field, while the Jason Clearwater Fund donated the new backstop fencing, dugouts and time/machinery to level the surface for future youth sports in Minooka. To date the Clearwater fund has raised and donated over \$200,000 back to communities including Minooka, Morris, Mazon, Dwight, Gardner, South Wilmington, Seneca, Streator, and Troy Township. The Clearwater Fund is an ongoing advocate and charitable organization dedicated to youth sports and named after the late Jason Clearwater. To support the fund, go www.jasonclearwaterfund.org.

Welcome to Minooka! Business Spotlight



Let's make **HEALTHY HAPPEN**

Located in the Jewel Complex at Ridge Road and Route 6, Minooka would like to welcome Anytime Fitness to their new location opening in the Minooka community! Opening September 2020, Anytime Fitness has been known as a convenience gym since 2002, providing 24hr access. Some of the special features will be:

Personal Coaches - Personalized workout plans for you every 8 weeks, nutrition guidance, weekly accountability messages and more.

1 on 1 Personalized Fitness Consultation - You will set goals, receive nutritional guidelines, and plan your journey

Small Group Training Sessions- Work in a group of 3-5. You will learn how to build a foundation, learn proper form, improve mobility, build core strength lose body fat and increase lean muscle.

Team Training Sessions- Work in a team of 6-15. You will be coached, challenged, and session by session, you will be one step closer to your goal! These workouts are conducted in a circuit formed with timed intervals

Anytime Fitness App! This app is your communication tool between yourself and your coach!

Anytime Fitness has a goal to get you to yours! Whatever that goal may be, they have options available to help you reach that goal! Whether it is to drop that pesky holiday weight, put on a couple pounds of muscle, or get in better shape for that local 5K, they are here to help! After you sit with your Coach, they will recommend the best option for you! All of the Anytime Fitness workouts change weekly which is why they do training, not classes!

Anytime Fitness has taken the proper precautions when it comes to the COVID-19 following all CDC guidelines and regulations!

Check them out today! ...and **welcome to Minooka Anytime Fitness!!!**





Welcome back!

Our library buildings re-opened to the public on July 6, 2020. Things are a bit different, with more self-service options, hand sanitizer stations, and material returns via the book drops only. Returned items are quarantined for several days, so they will stay on your library card until staff is able to check them in, but no fines will be assessed during quarantine.

We've also instated some new protocols for the safety of staff and visitors. Please be sure to review the full protocols, available at bit.ly/trwelcome, before planning your next visit to the library. Most importantly, protective face masks are required for everyone over the age of 2 years. If you are unable to wear a mask or you are not ready to return to the buildings, please contact us for alternative services options or continue to use our convenient curbside pickup service for materials.

Adult Programs:

Three Rivers Book Club

Wednesdays, September 2 & October 7, 7-8:30pm at Lion's Park, 8875 McEvilly Rd, Minooka

Get out of the house and meet some new people in a safe, social distancing environment as you engage in lively discussions of adult contemporary literature! New members are always welcome. Titles are available for immediate checkout at the libraries. No registration is required.

September 2: Pretty Girls by Karin Slaughter

October 7: Erotic Stories for Punjabi Widows by Balli Kaur Jaswal

Macramé Plant Hangers

Video premiers Friday, September 4, 6pm

Learn to create an easy and beautiful macramé plant hanger! Reserve a craft kit by registering with a valid email address. Kits are limited. If you are unable to get a kit, the list of supplies is included in the event description on our website. **The instructional video premiers 9/4 at 6pm and will continue to be available for viewing after that date at bit.ly/trplvirt.**

Learn Tai Chi

Video premiers Monday, September 14, 6pm

Tai Chi is a gentle exercise, a combination of moving meditation and martial arts which cultivates a sense of well-being. Tai Chi can be done by almost anyone. Erica from Breathe Life Tai Chi demonstrates Shibashi body movements, with detailed step by step instruction with front and back views for full clarity and understanding. **This pre-recorded presentation premiers 9/14 at 6pm and can be viewed any time through 9/28 at bit.ly/trplvirt. If you would like to receive the video link, please register.**

Unforgettable! Music of the 50's

Monday, September 28, 6-7pm via YouTube Live

The 50s come alive in this cabaret from Nostalgia Entertainment. Hear fascinating stories behind the music and artists while you hop and bop along to your favorite golden oldies. **Register with a valid email address to receive the link or visit our virtual programs page at bit.ly/trplvirt.**

A Killer Among Us: Part 2

Monday, October 5, 6-7pm, Live via Zoom

The turn of the century ushered in the terrifying phase of murder, serial killers — bloodthirsty monsters who stalked, spree-killed and wrote their own unique stories of murder! But if the late nineteenth century were a prelude to horror, then the twentieth century was truly the main event...of madness! **Registration with a valid email address is required.**

WASPs: The "Fly Girls" of WWII

Monday, October 19, 6-7pm, Live via Zoom

Over 1100 women served their country during World War II, flying every military aircraft flown by the American Forces. Join Rebecca Tulloch, a certified FAA pilot, as she shares the history of the Women Airforce Service Pilots. **Registration with a valid email address is required.**

Chicago's Sweet Candy History

Tuesday, October 27, 6-7pm, Live via Zoom

For most of its history, Chicago produced one-third of the nation's candy. Delve into the history of these favorite tasty treats with Leslie Goddard as she explores what made Chicago such a powerful location for candy makers. **Registration with a valid email address is required.**

Children & Family Programs:



Stories on the Farm: (all ages)

Mondays, September 14-October 19
4:30, 4:45, 5:15, & 5:30 at Dollinger's Farm,
7420 E Hansel Rd, Channahon

Stop by Dollinger's Farm on Mondays to view an engaging virtual storytime, projected for your viewing pleasure in the large barn. Story videos featuring Miss Renee will be played at 15 minute intervals and accompanying Grab n' Go craft bags will be available on a first come, first serve basis. Be sure to follow mask and seating guidelines at the farm. **No registration is required.**

Makerspace Tuesdays: (Pre-K-5th)

Tuesdays, September 8-October 13, 4:00-4:45pm, Live via Zoom

Walk through quick, simple, and fun STEM projects over Zoom every Tuesday.

Registration with a valid email address is required.



Talk it UP!: Virtual Book Club: (5th-6th)

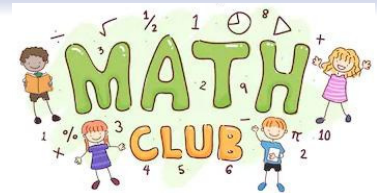
Wednesdays, September 9, 23, October 7 & 21, 4:30-5:15pm, Live via Zoom

We want to hear about your latest reads! Read any book and share your thoughts with the group. Discussion will be followed by games and activities. **Registration with a valid email address is required.**

Math Club: (K-5th)

Thursdays, September 10-October 15, 5:00-5:45pm, Live via Zoom

Register and pick up a kit from our Minooka Branch before our 1st week, then hop online each Thursday for a live and a crazy-fun time with math! **Registration with a valid email address is required.**



Spooky Scary Online Stories: (recommended for 12 years+)

October 1-31 via YouTube

Are you afraid of the dark? You might be after watching the eerie tales we'll post during the month of October. Visit our events calendar for details and subscribe to our YouTube Channel at bit.ly/trlyoutube so you can share in the scares... if you dare! **No registration is required.**

Spooky Stories with Mike Anderson: (4 years+)

Oriday, October 23, 5-6pm at Dollinger's Farm, 7420 E Hansel Rd, Channahon

Bring a blanket and spread out in the grass with your family as you enjoy the best silly, funny, and spooky stories and songs that deliver the shivers... of delight! While this is a family friendly program, it's best enjoyed by those 4 years and older. Be sure to follow mask and seating guidelines at the farm. **Registration with a valid email address is required.**



Book or Treat

Saturday, October 24, 12-1:30pm & 3-4:30pm at Minooka Branch

A book is a treat that can't be beat! 'Haunt on by' and select 1 free book per child or teen. Wearing your Halloween costume is encouraged! Please remember that protective face masks are required to enter the library. **No registration is required.**

NEWS FROM WITHIN THE POLICE DEPARTMENT

Minooka Police Receives Grant from AAA

In an effort to reduce the number of crashes, injuries and fatalities caused by marijuana impaired driving AAA - The Auto Club Group provided more than \$100,000 in grants to assist public health, safety and law enforcement partners in addressing this issue.



Fatal Vision Marijuana Goggles

These goggles model the effects of recreational marijuana so you can experience the impact of what it's like to be under the influence. Marijuana affects the brain differently than alcohol, and the goggles simulate marijuana's true effects — they diminish the participant's capacity to make quick, accurate decisions, and that causes a driver to miss important external cues that could lead to a crash. The kits will be brought to high schools and community events as a way to educate people about the effects marijuana impaired driving (this will be done when possible due to COVID-19 restrictions).



Crime Prevention Tips for Halloween

It's the time of year for costumes, sweets, and tricks and treats! While Halloween offers plenty of fun, it can also bring real safety risks, like children running across a dark street or getting separated from their group. Follow these tips to help your family stay safe this spooky season!

1. STREET SAFETY

- Accompany trick-or-treaters younger than age 12.
- For group trick-or-treaters, choose familiar and well-lit areas and let an adult know the route.
- Label your child's costumes with your name, address, and phone number in case you get separated.
- Use traffic signals and crosswalks, and remember to look both ways before crossing the street. Carry a fully charged cell phone in case of emergencies.
- Be aware of your surroundings.

2. GET CLEVER WITH COSTUMES

- Make sure the costumes are a good fit and aren't too long or loose.
- Add reflective tape, stickers, glow sticks, or a flashlight to keep them visible.
- Masks can limit vision, so use face paint instead.

3. STAY SAFE & SWEET AT HOME

- Clean up. Put away anything trick-or-treaters could trip over, such as garden hoses, toys, bikes, and lawn decorations.
- Turn the lights on and replace any burned-out bulbs to ensure good visibility at the walkway and front door.
- Control your pets. Take no chances that your pet might be frightened and chase or bite a child at your door.



Village Ordinance Reminders

ABANDONED VEHICLE: Any vehicle, or any part thereof, in a state of disrepair rendering the vehicle incapable of being driven safely or unlicensed (except vehicles for sale by new and used motor vehicle dealers and repair shops), or left for such a time and under such circumstances as to reasonably appear to have been abandoned or deserted. A vehicle is unlicensed when it does not have a current set of valid license plates from the state in which the vehicle is registered displayed on the vehicle.

Services



Child Safety Seat Check

Did you know the Minooka Police Department has state-certified officers that will inspect your child safety seats? Officers will inspect everything from infant to booster seats to make sure your initial installation is correct. Please contact the Minooka Police Department for an appointment.

Be Part of the Department

The Minooka Police Department is continually looking for applicants 14-21 years of age for our Explorer Program. If you are interested in working with the police department or are interested in pursuing a career in law enforcement, this program is for you! For questions regarding the Explorer Program contact Detective Sergeant Sinovich or Detective Macdonald at (815) 467-2298.

INTERESTED IN LAW ENFORCEMENT?
ARE YOU BETWEEN THE AGES OF 14-21? COME EXPERIENCE OUR INTRODUCTORY PROGRAM PROVIDING FIRST-HAND EXPERIENCE IN A FUTURE CAREER!

WHAT WILL YOU LEARN?

- Arrest & Use of Force
- Crash Investigation
- Evidence Collection
- Basic Life Support
- Honor Guard Drill
- Traffic Stops

WHAT WILL YOU GAIN?

- Community Involvement
- Leadership Skills
- Physical Fitness
- Mental Fitness
- Dependability
- Knowledge

CALL US AT 815-467-2298 FOR MORE INFORMATION!

POST #447
EARN YOUR SPOT AS A MINOOKA POLICE DEPARTMENT EXPLORER TODAY!

Facebook

Have you heard about the **#9pmRoutine** or **#WagginWednesday**? If not, you need to find us on Facebook and "like" our page so you're not missing other important up-to-date information.



PROGRAMS

Safe Passage

If you know of a loved one who is struggling with opioid addiction or other drugs please contact the Minooka Police Department and we can assist in providing assistance to them to seek appropriate treatment through the Family Guidance Center.



**Police Giving Hope Through
the Tools for Recovery**

NEWS FROM LOCAL CHURCHES

MINOOKA UNITED METHODIST CHURCH

- **Regular In-Person Worship**

Saturday at 5:00 p.m. and Sunday at 9:00 and 11:00 a.m.
(We will have safety and health precautions in place in keeping with local and government guidelines.)

**All attendees will be asked to wear a mask.*

- **Online Worship**

Wednesday at 5:00 p.m. devotion and Sunday at 9:00 a.m. worship

SERMONS

Wisdom Speaks! Series

Do you need extra wisdom for living in challenging times? Are you searching for guidance at home, at work, in your character? Join us for our 4-week series "Wisdom Speaks!" in September 2020.

Sep. 5-6th Wisdom Speaks (The Book of Proverbs) 1:

Work Proverbs 20:17, 24:33-34

Sep. 12-13th Wisdom Speaks (Proverbs) 2: Family Proverbs 1:8, 22:6

Sep. 19-20th Wisdom Speaks (Proverbs) 3: Character Proverbs 30:5-9

Sep. 26-27th Wisdom Speaks (Proverbs) 4: Beginning of

Wisdom Proverbs 1:1-7

PRAYER PARTNERS

Every Wednesday from 5:00 p.m. – 7:00 p.m.

Come pray with leaders and members of our church during this open house prayer time.

SUNDAY SCHOOL & RALLY SUNDAY

This fall our ONLINE Sunday school is offered for Pre-K through 7th grade students on Sunday mornings at 10:45 a.m. Join us ONLINE for Rally Sunday to kick-off the year on Sunday, September 13th at 10:45 a.m. Registration for Sunday School can be found on our website at minookaumc.com.

PET BLESSING - TENTATIVE

Saturday, October 3rd at 10:00 am @ *Ridge Rd. Property

COMMUNITY TRUNK OR TREAT - TENTATIVE

Sunday, October 18th at 1:00 pm on our *Ridge Rd. Property
All area children and their families are welcome.

ALL SAINTS SERVICE

Saturday, October 31st & Sunday, November 1st during all worship services. Special service for all those who have lost their loved ones.

VETERAN'S RECOGNITION WEEKEND

Saturday, November 7th & Sunday, November 8th during all worship services.

~All of our online events can be found on our Minooka United Methodist Church Facebook page or website under videos.

~In-person worship requires a reservation. Contact the office to reserve your seat. All attendees will be asked to wear a face covering.

*MUMC's Ridge Rd. property is located under the Minooka water tower located on the East side of the street between Prairie Ridge Dr. and Misty Creek Dr.

For more details and information visit our website, www.minookaumc.com

THE VILLAGE CHRISTIAN CHURCH

Mobile Food Pantries

At The Village Christian Church, helping others is at the core of who we are. We will be hosting 2 Mobile Food Pantries in partnership with Northern Illinois Food Bank in the fall. Families in need in the Minooka/Channahon community will be able to get a box of food per family. Distribution will be first come first served and it will be a drive-up where volunteers will place food boxes in the trunk. There is no registration, proof of income or I.D. required.

When/Where: Monday, 9/28 and 10/26 at 5 pm. Come to The Village Christian Church, 8965 S. Bell Road in Minooka.

Marriage Night

Healthy marriages require work and dedication, which is why we're partnering with RightNow Media and hosting Marriage Night Simulcast with Speakers Matt & Lauren Chandler, Conway & Jada Edwards, Les and Leslie Parrott, and Comedian Michael Jr. Bring your spouse and learn some valuable marriage lessons, including how to laugh together and honor God through your relationship. **When you register, you will be entered to win a \$50 gift card to Pesciolino Osteria!

This is an adult only event and childcare will not be provided.

When/Where: Saturday, 9/12, 6-9:30 pm at The Village Christian Church, 8965 S. Bell Road, Minooka, IL.*

Cost: \$30/couple and tickets must be purchased in advance thru the link below. Registration will be open until 9/11.

Register at: <https://events.rightnowmedia.org/attendee/site/2451>

*Due to health concerns, there is an option to watch from home.

Register at the link above and then email Sarah O'Sullivan for the information to view from home: sarah@thevillagechristianchurch.com.

Pulse Kick-Off

Pulse is our student youth group – a place where students meet Jesus, know Jesus and share Jesus! Pulse Jr. is for grades 6-8 and Pulse Sr. is for high school students. The Pulse Kick-Off event is for Pulse Jr. & Pulse Sr. students and will take place Sunday, 9/20 from 6:30-8 pm. Students will be able to connect with other students, play games and learn about Jesus in small groups each Sunday until Thanksgiving break.

We have just added a new Pulse class for 4th & 5th graders, Pulse 45. This group will meet Wednesdays beginning 9/23 from 6:30-7:30 pm until Thanksgiving break.

Both groups will meet at The Village Christian Church, 8965 S. Bell Road, Minooka, IL.

MISSION BIBLE CHURCH

We are so excited about gathering both online and in person as we learn and grow together during the next two sermon series. We'll explore why we bother with Church and how we can better be Unoffendable.

Stream Online Sundays 9:00 and 10:30am at missionbible.tv

Join us in person at 9:00 and 10:30am at 412 N. Wabena Minooka IL

Due to the ever changing nature of things these days, be sure to stay up to date by checking out our website at missionbible.church



Grundy County Health Department

Preserving, Promoting and Protecting the health

and well-being of Grundy County since 1966

Grundy County Provides COVID-19 Reminder While Awaiting Testing Results

MORRIS, IL – The Grundy County Health Department provides guidance to residents who are waiting for COVID-19 test results.

The Grundy County Health Department has learned of several incidents of residents continuing about normal daily activities, outside of the home, during times when they should be quarantined.

If you are quarantined, you should not report to work or school, should not visit public places or events, should not invite non-household members into your home, and should not visit other people's homes.

You may be outside of your home on your balcony, in your yard, or (if feeling well) going on an individual walk or bike ride – away from other people. Wearing a face covering does not negate the quarantine order.

Times to follow quarantine guidelines occur when:

- You are ill and/or experiencing COVID like symptoms,
- You are awaiting COVID-19 test results (even if asymptomatic),
- You've been in close contact (closer than 6 feet for 15 minutes or more, cumulative in one day) with someone who is symptomatic or has testing positive,
- You have tested positive.

If you are experiencing any of the symptoms that are consistent with COVID-19, which can include: fever or chills, cough, shortness of breath or difficulty breathing, tiredness, muscle or body aches, headache, new loss of taste or smell, sore throat, congestion or runny nose, nausea or vomiting, diarrhea – please seek testing guidance. Consult your primary care provider for information related to testing, or visit dph.illinois.gov/testing for nearby testing sites.



KENDALL COUNTY HEALTH DEPARTMENT

811 W. John Street, Yorkville, IL 60560-9249 630/553-9100 Administration Fax 630/553-9506



Public Health
Prevent. Promote. Protect.

New Mask Enforcement Rules

To whom it may concern,

The Illinois Department of Public Health has adopted emergency rules to restrict and suppress COVID-19. Any business, service, facility or organization open to the public or employees shall require employees, customers and other individuals on the premises who are over the age of 2 and medically able to tolerate a face covering to cover their nose and mouth with a face covering when on the premises and unable to maintain 6ft social distance. This applies in both indoor and outdoor settings.

Face coverings may be removed when eating or drinking, however, face coverings shall be worn at all other times.

Gatherings of more than 50 people (or gatherings of 50% or more of a building's maximum occupancy, if 50% of building occupancy is less than 50 people) are also prohibited as part of these rules.

Enforcement procedures take by this Department will be as follows...

1. Upon determining that a business is not in compliance with the rule, the business will be given written notice of non-compliance and encouraged to voluntarily comply. If during subsequent follow up visits to this facility it is determined that this business is still not in compliance, further notices of non-compliance will be issued.
2. After 2 or more written notices have been issued to the facility, the file may be forwarded to the State's Attorney's Office for possible further action and potential fines ranging from \$75-\$2500.

Businesses, services, facilities or organizations that take reasonable efforts to require patrons and employees to wear a face covering shall be considered in compliance. Reasonable efforts shall include but are not limited to...

- Posting signage requiring face coverings to be worn on the premises.
- Providing face coverings to customers.
- Giving verbal warnings to customers to wear face coverings when on the premises.
- Requesting that customers leave the premises if not wearing a face covering.

If you have any questions please feel free to contact us. We can be reached at 630-553-9100, extension 8026.

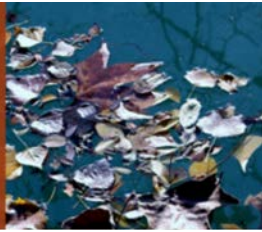
PUBLIC WORKS

Did you know...?

LEAVES AFFECT THE HEALTH OF RIVERS AND STREAMS.

IN FACT,

Fall leaves and other organic debris can account for **56% of the ANNUAL total phosphorus load in urban stormwater!**



Fall Leaf Collection Protects Rivers and Streams



Leaves are a big topic of research when it comes to water quality issues coming from residential neighborhoods in the fall. Rainwater leaches nutrients from leaves lying in the street, creating a kind of “leaf tea.” The nutrient-rich leaf tea then flows down storm drains and into local streams. The nutrients from leaves, especially phosphorous, cause algal blooms that lower oxygen levels in the stream--less oxygen makes it harder for fish and aquatic insects to live there.

What Can You Do?

As residents you can do your part too. Look for ways to use leaves at home – mulch flower beds or around trees, add to your compost pile, mulch with mower and make leaf mold to add to your garden next year. If you can’t find a way to use all of your leaves and need to put them out for collection, **keep them out of the street.** If you have a storm sewer inlet in front of your house, be sure to keep it clear of leaves and other debris.



If you can’t find a way to use leaves at home, participate in your community’s leaf pick-up program. Most importantly, keep leaves and other yard waste out of the street to protect local streams!

More tips and instructions for making leaf mold, or partially decomposed leaves you can add to your garden to retain moisture in the soil, can be found at www.dupagerivers.org/leaf-mold

before you drain your pool... let the water sit!



When it's time to drain your pool, stop adding chemicals to your pool to allow the chlorine and bromine to break down and the pH to neutralize. Let the water sit for a few days or a week.

how to drain your pool

Slowly release the water into your yard and let it soak into the ground. If that's not an option, drain the water down a storm sewer drain.

Remember that storm drains discharge directly to rivers! **That's why it's important for the water to be chemical free and pH neutral before draining your pool.**

Dispose of unwanted pool chemicals properly. Contact your local government agency to find a proper disposal location.



Fall Ewaste Events

- Shredding Event Thursday September 17th, 2020 - 10am-12pm at 1320 Union Grundy County Administration Building - Two box limit please
- Electronic Waste Recycling Event - Saturday September 19th, 2020, 8am-12pm at parking lot north of the Grundy County Animal Control Facility 310 East DuPont Road, Morris

TVs will be charged as follows:

21" and less diagonal distance - \$25.00 Greater than 21" diagonal distance - \$35.00 Projection TV - \$50.00

Toy Drive Cancelled:

Based on the concerns about the spread of COVID 19, I have decided to cancel our Toy Drive this year. It would not be possible to sanitize all of the toys and unfortunately this is the only choice to be made. Thank you families for always giving and it is my hope that next year this time we will be ready to have this event again. Please feel free to contact my office if you should have any questions. I may be reached at either (815) 941-3229 or hmiller@grundyco.org. Thank you Grundy County for your part in helping our Earth!!

Village of Minooka utility customers...



Pay your utility bills online!

The Village of Minooka utility bill payments are quick & easy with online payments! As long as you have an internet connection, you can pay your bill or view your bill online from anywhere, 24/7. Don't want to pay online? No problem! Use our toll-free number to make your payment by phone. Check out your payment options below.



ONLINE

www.Minooka.com

- Make a one-time payment
- Setup and manage Auto-Pay
- Store and manage payment methods
- View and print bills
- Combine multiple billing accounts



MOBILE

PSN Payments App

- Make a one-time payment
- View electronic bills
- View past payments
- Manage payment methods
- Login using online credentials



PHONE

877-885-7968

- Make a one-time payment
- Hear balance due
- Quick, automated service
- Have your bill handy to provide your account number

Payment convenience fees apply: 2.75% (+\$0.50 for payments under \$100.00) for credit and debit card payments. \$1.00 for check/savings payments.





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*****ECRWSS*****

POSTAL PATRON



This newsletter is printed on recycled paper using soybean ink.

This newsletter is being delivered to you as a postal patron of zip code 60447. Although much of the information included in this publication may be of interest, some of it directly affects only those who live inside the corporate limits of the Village of Minooka.

VILLAGE INFORMATION

The Village of Minooka encourages all residents to visit and participate in the Village Board and Committee meetings. Regular meetings of the Village Board are held the 4th Tuesday of each month. They are scheduled to begin at 6:30 p.m. at the Village Hall. Committee of the Whole meetings also take place at the Village Hall on the Wednesday before the Village Board Meeting. To verify a meeting date, please call the Village Hall at (815) 467-2151.

Village President

Patrick J. Brennan (815) 467-6806

Village Trustees

Ric Offerman (815) 258-5270

Terry Houchens (815) 467-4605

Chad Hrechko (815) 482-3823

Dennis Martin (815) 693-6596

Dick Parrish (815) 531-5337

Barry Thompson (815) 353-9188

Village Administrator

Dan Duffy (815) 467-2151

Speak Out !

Communicate with Minooka elected officials and administrators. Your advice, suggestions, questions and opinions are appreciated and will receive a response. Please complete this form, detach, and return to: Village Administrator, Village of Minooka, 121 E. McEvilly, Minooka, IL 60447.

Name: _____

Phone: _____

Address: _____

Comment: _____

The Village of Minooka

www.minooka.com

Aux Sable Springs Park

BROKE GROUND APRIL 2020

**FEATURING BASEBALL FIELDS, TRAILS, BOAT LAUNCH FOR
CANOES AND AN OUTCROPPING FOR FISHING**

North Loop Trail
0.78 miles



INSIDE FEATURES

- Events Around Town* Pg. 3
- Virtual Library Programs* Pg. 4
- Covid-19 and Grace* Pg. 6

To Serve You Better

Welcome to Your Newsletter



From Your Village President

Dear Friends,

As our summer newsletter comes out I hope these days find you well. While the State of Illinois is still under a COVID stay at home order, I hope we all can open up soon and get back to some sort of normalcy. Until then I hope everyone plays it safe, but the reality is we have all had to adjust and change the way we live. This spring we saw large events not happen, and this summer with activities/camps being cancelled, sports leagues not happening, as well as our own Summer Fest being postponed as well. In this time of uncertainty, I hope we all check in on each other, call our neighbors and reconnect via new methods, like Zoom and Facetime. I continue to urge you to support our restaurants by purchasing a gift card, ordering take out or participating with the new outdoor dining rules recently set by the State.

We are still working at the Municipal Building even though the building is closed to the public. Our employees remain on the front line to provide those essential service for the residents of Minooka. The phones and emails are being answered and work is getting done. I want to ensure you that the village is still working with our police keeping our streets safe, patrolling and our public works keeping the water and sewer services going. To help during this difficult time, the Village has suspended any late fees on our utility costs as well as not shutting of vital services. Reminder, for the latest emergency or village announcements please log onto our website (www.minooka.com) and sign up for our SWIFT 911 service.

Looking ahead we hope to see a silver lining. Although, there is still a great unease amongst us in Minooka, we hope everyone will follow the advice that the experts at the CDC suggest, staying home, maintaining social distance, washing your hands, and wearing a mask outside. If you have problems or concerns, please email our staff at the Village at Hall at 815.467.2151.

Stay safe,

Pat Brennan, Village President

From the Village Administrator's Desk

Dan Duffy, Village Administrator

The Village needs your input! In 2020, the Village of Minooka kicked off it's Comprehensive Plan update, which is basically a roadmap for the Village to follow. The plan not only provides guidance with recommended land uses to the Village, but will shape multi-modal transportation needs/networks, update zoning regulations, preserve open space and provide a framework for development over the coming decade. This is where we need our residents ideas, input and comments!

The project is being paid for with a grant from the Chicago Metropolitan Agency for Planning (CMAP). With the professional assistance from CMAP staff and a planning consulting named Houseal Lavigne Associates, the Village began the project with a kickoff meeting in April. With the COVID shutdown setting the project a little behind schedule, it also forced us to rethink how public comment would be obtained. The project will now be shifting to a more electronic and virtual platform, with gatherings and input via virtual electronic meetings. Also in June, a new Comprehensive Plan Website will go active to gather input from residents. The address is <http://www.hlplanning.com/portals/minooka/> and will be active in June. There you can work on developing maps, filling our questionnaires, and participate in workshops. You can also access the project website by going to www.minooka.com and click on 'Comprehensive Plan'.

As far as a timeline, The village Comp Plan is being guided by a Steering Committee, made up of local business, government, education, and civic leaders. This group will hold several virtual meetings, with hopes of having open house events later in the year (if possible). Please take the time to link up and give us your input as residents. Together, we hope to develop a new comprehensive land plan, and formulate a draft of the plan by the end of the year. The plan will be unveiled for final public comment and board review in the spring 2021 and mostly likely adoption by the Village of Minooka Board of Trustees this time next summer.



Community Picnic

Bring the family to the free Community Picnic at Lions Park on Sunday September 20th from 1:00 – 4:00 p.m. Free food, face painting, games and prizes plus much more. Bring your lawn chairs.



Due to Covid-19 and for the safety of the children, The Village of Minooka regrets to announce we will be canceling the 2020 Minooka Summer Camp. Anyone who registered will receive a full refund. We look forward to seeing you next summer!



Please note do to Covid-19 Dates and Times are subject to change along with possible cancellation

THREE RIVERS LIBRARY

Summer Reading at Three Rivers Library

Deeper: Read, Investigate Discover with
Virtual Summer Reading for All Ages

Monday, June 15 at 9am - Friday, July 31 at 6pm

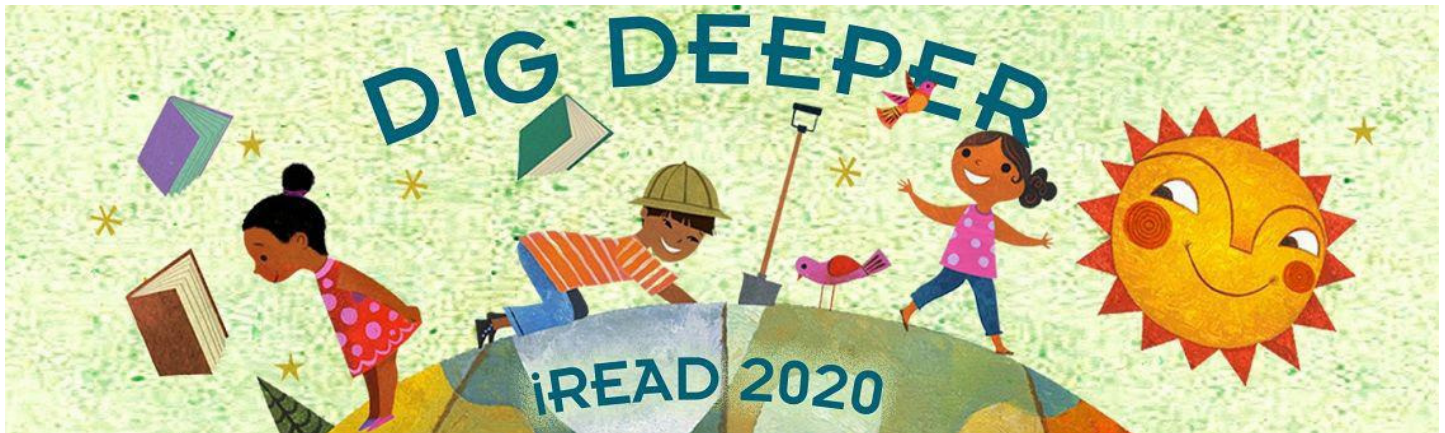
Dig Deeper to Read, Investigate, and Discover with Summer Reading 2020! Registration and logging begins June 15 at 9am and goes through July 31 at 6pm. Create an account at <https://trpld.beanstack.org> or use an existing Beanstack account. Logging may be virtual, but there are real prizes to win!

Adults: Adult readers 18 years and older can log books, magazines, audiobooks, eBooks, and more for chances to win real prizes such as a Kindle Fire, a 1 year streaming subscription, an Instant Pot, and more! Log your reading each week for automatic entries into our random raffles. There are virtual prizes like gift cards for local businesses, Amazon, Redbox, or a donation to Chanooka Wish.

Teens: Readers entering grades 7th to 12th will log reading hours to win gift cards and entries for prize drawings. Earn bonus tickets for extra chances to win prizes by completing additional challenges or writing book reviews!

Kids: Beginning and independent readers of any age, up to and entering 6th grade, can log their reading minutes to unlock badges and earn prizes. Complete additional activities to earn extra tickets for prize drawings!

Read to Me Club: Designed for readers ages 0+ who are not yet reading by themselves, parents and kids can read and log together and complete fun activities to help them earn badges and prizes. Unlock even more badges by logging extra activities for additional chances to earn a basket prize!



Library To Go- Curbside Pick Up:

For the continued safety of our communities and library staff, Three Rivers Public Library District buildings remain closed to the public until further notice. Even though the buildings remain closed, book drops are available for returning items. We will also begin Curbside Pick Up for local items starting June 1. You can already start placing your holds as normal via our online catalog. When your items are ready, you will be notified with available pick up times.

Library staff will be available via phone or email to answer questions regarding curbside and help with placing holds beginning Tuesday, May 26 through Friday, May 29 from 10am-2pm at both locations.

Please be patient with us as we begin this unusual service and work out any kinks. We look forward to serving our communities again! For more details, visit our Curbside FAQs at <http://trpld.org/curbside-faq-6332>.



Virtual Library Programs:

Three Rivers Library has lots of exciting virtual programs for all ages planned for this summer! We are busy working on even more ideas as we move our programming online. Visit the library's events calendar at <http://bit.ly/TRPLDevent> to register for programs and for updates as we continue to add engaging and entertaining virtual programming. Please note that the library will be closed Saturday, July 4 in observation of Independence Day.

Children & Family Programs:

Dinosaur Encounter with Janet Riehecky

Saturday, June 13, 1pm via Zoom

Children's author Janet Riehecky digs deep into adventure with a virtual dinosaur encounter! She is excited to share her collection of fossils and museum-quality replicas of real dinosaur bones with you and discuss how big they grew, what they ate, how they lived together, why some dinosaurs ate rocks, and which dinosaurs made good parents. **Registration with an email address is required.**

Miss Terry Talks Nutrition!

Tuesday, June 23, 6pm via Zoom

Join Certified Holistic Nutritionist, Terry Harding, for a workshop specially designed to teach kids how to be independent in the kitchen while learning healthy eating as she walks you through preparing simple snacks. Bring your device into the kitchen to follow along! Visit the event page on our calendar for the list of ingredients. **Registration with an email address is required.**

Stories, Songs, & a Boing, Boing Thing

Saturday, June 20, 2pm via Zoom

Mike Anderson's dynamic performance is a hopping good time for families of all ages. Dance along as he shows off his musical prowess in this virtual performance with instruments like the boingy boingy thing, a clackity clack thing and a... noseflute!? This is a show you don't want to miss! **Registration with an email address is required.**

Ready, Set, AnimalQuest!

Saturday, July 11, 11am via Zoom

AnimalQuest brings their zoo right into your home with this educational program featuring a menagerie of amazing live animals. Along the way, you'll learn about animal behavior, care, diversity, and conservation. **Registration with an email address is required.**

Magic Together

Tuesday, July 14, 6-6:45pm via Zoom

It's magic that starts with a box, delivered right to your home. On July 14, open your box and join magician Scott Green in this live magic show where you can watch the magic happen in your hands, thanks to your magic tools in the box! **Registration with an email and valid mailing address is required by July 1.**



Adult Programs:

Three Rivers Book Club

Wednesdays, June 3 & July 1, 7-8:30pm via Zoom

Join the Three Rivers Virtual Book Club for a lively virtual discussion of adult contemporary literature! New members are always welcome. Titles are available for immediate checkout via Hoopla digital. **To join the discussion, email laureno@trpld.org for the meeting link.**

June 3: *The Library at the Edge of the World* by Felicity Hayes-McCoy

July 1: *A Piece of the World* by Christina Baker Kline

Florence Nightingale

Monday, June 15, 6-7pm via Zoom

Megan Wells brings the fascinating originator of modern nursing to life as she shares her story. **Registration with an email address is required.**

Cross Stitch

Monday, June 22-Monday, July 6

Get started with cross-stitching as you follow along to make a simple design. A handout with diagrams and a list of required materials will be provided. **Registration with an email address is requested for this pre-recorded presentation. The video will be available for viewing via YouTube from 6/22-7/6. Non-registered viewers can find the link on our website.**

Henry Knox's Noble Train

Tuesday, July 7, 6-7pm via Zoom

Learn the inspiring story from the American Revolutionary War of a little-known hero, Boston bookseller Henry Knox, who helped lead to the victory for Washington's army. **Registration with an email address is required.**

Cleopatra: Last Pharaoh of Egypt

Monday, July 20, 6-7pm via Zoom

Cleopatra bursts from the pages of history to tell her own story, one strikingly different from the Hollywood impression. **Registration with an email address is required.**

Origins of Tarot

Tuesday, July 28, 6-7pm via Zoom

For centuries, tarot cards have captivated, first as a fun game and later as a fortune-telling tradition. Discover the history of the cards, from their invention to the meanings, and how to begin reading cards. **Registration with an email address is required.**

NEWS FROM WITHIN THE POLICE DEPARTMENT

Chaplains Corner



COVID-19 and GRACE

Whatever else the nurse on the phone said, I really only heard one word: "Positive." She said the same thing to my wife. "Your test came back positive."

To which I wanted to say, "Are you positive that it came back... positive?" Or, "How positive are you that the test came back... you know... positive?"

Before I go on, I am happy to report that we are both fine. We were tested on April 26 and the results came by April 29. I was sick with what I thought was a nasty head cold the week before I was tested. My wife, Ruth, had a fever for a week, then another 4-5 days of fatigue. We never had a cough or any kind of breathing issue. We are grateful to be strong and healthy.

Okay, with that out of the way, can we talk about one of my favorite words? We can? Great! Here is one of my favorite words: GRACE. Yup. Definitely one of my favorite words.

"But Chaps, (Chaps is Minooka PD speak for chaplain) with all that's going on in the world, let alone our community, why in the world are you talking about your favorite word, grace?"

Glad you asked! Here is the definition: 1) a pleasing quality 2) favor or goodwill 3) gratitude or thanks. It's #2 that I want to focus on.

How we understand a problem determines our choices to correct or remedy the problem. I remember listening to a nurse, years ago, as she went through her routine checklist before one of our youngest son's many ear tube surgeries. As she reviewed his name, date of birth and other details, she then said, "And today we are here to fix that tube in the left ear." She continued with the rest of her list, but we quickly interrupted her and said, "The problem was not in the left ear, it was in the right ear!" How you understand the problem will determine the course of action you will take to solve the problem. In this case, a correct understanding of the problem prevented new problems!

Our community, indeed, our nation, is now struggling, not just COVID-19, but with a complex network of problems that have resulted from local, state and federal decisions to deal with this awful virus. Time will tell whether those decisions were warranted or not. Until then, it is clear that us humans tend to be strong with our ideas and opinions. At times, we tend to be downright ridiculously obnoxious with our ideas and opinions on social media. We currently are living in a culture of distrust and can ramp up rhetoric that is based more on emotion (and remember, emotions don't have intellect) rather than logic. So, what I see as the problem, is a lack of grace #2: favor or goodwill. Grace is getting what we do not deserve: favor or goodwill.

At times, I have used my words in a way that has torn down others. I have expressed my ideas without care and genuine concern for the person I was talking to! (Do you think they heard what I had to say? Probably not.)

Wherever you land on any one of the network of problems created by the coronavirus, I am encouraging all of us to respond with grace. Grace is getting what we do not deserve: favor or goodwill. Choose to respond to the harshness with grace. Someone else may not deserve it, but, you will bring dignity and respect to the conversation. You will also keep your dignity and the condition of your heart intact. Yoda once said, "Anger leads to hate. Hate leads to suffering." Yoda was right.

We can build a community on grace.

We can't build a community on anger, a foundation of distrust, or conversation and debate void of another-centered spirit.

We can build a community on grace.

We can't build a community when there is a spirit of attack or when words diminish others.

We can build a community on grace.

We can't build a community when the memories in our hearts towards each other are filled with hurt, revenge and hate.

We can build our marriages, our families, our community on grace. I would say, we must do so. Or, when we emerge from our current circumstances, we will have a virus in our hearts and attitudes that we will struggle with long after we have an adequate medical solution to the medical side of our network of problems.

I don't deserve grace. As a Christ-follower I have been given grace. My life has been changed. My wife, my family, and my friends have given me grace time and time again. As a result, my heart and attitude has been changed. I have no ground to stand on if I refuse to give grace to others. Whatever happens as a result of all that we are in now, let's pray that one of the changes that we will talk about to our children and grandchildren is that our community was transformed. It became a community of grace.

Be Part of the Department

The Minooka Police Department is continually looking for applicants 14-21 years of age for our Explorer Program. If you are interested in working with the police department or are interested in pursuing a career in law enforcement, this program is for you! For questions regarding the Explorer Program contact Detective Sergeant Sinovich or Detective Macdonald at (815) 467-2298.

INTERESTED IN LAW ENFORCEMENT?
ARE YOU BETWEEN THE AGES OF 14-21? COME EXPERIENCE OUR INTRODUCTORY PROGRAM PROVIDING FIRST-HAND EXPERIENCE IN A FUTURE CAREER!

WHAT WILL YOU LEARN?

- Arrest & Use of Force
- Crash Investigation
- Evidence Collection
- Basic Life Support
- Honor Guard Drill
- Traffic Stops

WHAT WILL YOU GAIN?

- Community Involvement
- Leadership Skills
- Physical Fitness
- Mental Fitness
- Dependability
- Knowledge

Minooka POLICE
CALL US AT 815-467-2298 FOR MORE INFORMATION!
POST #447
EARN YOUR SPOT AS A MINOOKA POLICE DEPARTMENT EXPLORER TODAY!

Phishing Scams

Village of Minooka wants community members to be aware of a text and email messaging scam pretending to be part of contact tracing. Contact tracing is used as a process of identifying people who have come in contact with someone who has tested positive for COVID-19, instructing them to quarantine and monitor their symptoms daily. These phishing messages when opened will download malicious malware and steal personal information that's on your phone or computer. If you see a text or email messaging indicating you have been exposed, please contact your county health department first.



VILLAGE ORDINANCE REMINDERS

Fireworks

Do not take it upon yourself to celebrate the 4th of July at your residence with fireworks. With firework events being cancelled or on hold, it is still a violation of Title 8 Chapter 2 Section 7 of the Village of Minooka ordinance. Fireworks are considered a nuisance and it shall be unlawful for any person, firm or corporation to knowingly possess, offer for sale, sell at retail or use or explode any fireworks; provided, however, that the president and village board may issue a permit for pyrotechnical and consumer displays.



Fireworks:	8-2-7	
First violation		200 .00
Second violation in a calendar year		400 .00
Third violation in a calendar year		600 .00

Burning of Waste Materials 7-1-4

It shall be unlawful for any person to burn material, including, but not limited to Landscape waste and municipal waste:

LANDSCAPE WASTE: All accumulations of grass or shrubbery, leaves and all other materials accumulated in the care of lawns, shrubbery and vines.

MUNICIPAL WASTE: Garbage, general household and commercial waste, industrial lunchroom or office waste, landscape waste and construction or demolition debris.



Permitted burning is the burning of fuels for legitimate campfire, recreational and cooking purposes, or in domestic fireplaces, in areas which such burning is consistent with other laws, provided that no garbage shall be burned in such cases.

Facebook

Have you heard about the **#9pmRoutine** or **#WagginWednesday**? If not, you need to find us on Facebook and "like" our page so you're not missing other important up-to-date information.



PROGRAMS

Safe Passage

If you know of a loved one who is struggling with opioid addiction or other drugs please contact the Minooka Police Department and we can assist in providing assistance to them to seek appropriate treatment through the Family Guidance Center.



Police Giving Hope Through the Tools for Recovery

NEWS FROM LOCAL CHURCHES

THE VILLAGE CHRISTIAN CHURCH

You Can Engage In Church Anywhere!

Our Online Campus is a way for you to experience church anywhere. It's an easy way to check out church in the comfort of your own home – no pressure. Live far away? No problem. Unable to physically be at the church building in Minooka, Illinois? No problem. You can connect and be part of the The Village from anywhere. Church isn't a building – it's a community of believers.

The Village Live is a community of people all over the world experiencing God and connecting with each other through worship and online chat. At 9:20 and at 10:50 Central Standard Time each Sunday we livestream the service. People will be available to chat and pray with those logged in. The Village Live provides a real, compassionate, interactive and supportive group for those who have entered our virtual campus.

To start, there will be a pre-service chat with our Online Campus Host. Then service will start with incredible worship, an inspiring message taught from the Bible, and a time for you to participate in communion and generosity. Both the online community and the on-campus community engage with the same teaching and are able to connect through the message.

There are 3 ways to watch online:

<https://live.thevillagechristianchurch.com>

<https://www.facebook.com/thevillagechristianchurch>

<https://www.youtube.com/user/thevccMinooka>

We look forward to “seeing you” online!



MINOOKA UNITED METHODIST CHURCH

• Regular Worship

Join us live (no in-person services) on our Minooka United Methodist Church Facebook page or website for devotion on Tuesday, Thursday, & Saturday at 5 pm and worship on Sunday at 9 am.

Once churches are permitted to hold in-person worship our services will be held on Saturday at 5:00 pm and Sunday at 9:00 and 11:00 am. (We will have safety and health precautions in place in keeping with local and government guidelines.)

**All attendees will be asked to wear a mask.*

SERMONS

June: The Book of Acts

July 5th – August 2nd: All-Church VBS

August 16th – September 6th: Beautiful Day in the Neighborhood

September 20th – October 26th: Grace 101

ALL-CHURCH ONLINE VBS 2020

Join us on our Facebook page for our All-Church online VBS beginning Sunday, July 5th. This program will run for 5 consecutive Sundays during the 9 am worship service. The theme is “To Mars & Beyond – Explore Where God’s Power Can Take You”. Below are the weekly lessons.

July 5th – “Daniel Trusts God in the Lions’ Den” (Daniel Ch. 6)

July 12th – “Queen Esther Takes a Stand” (Esther Ch.4-9)

July 19th – “The Good Samaritan Helps a Fellow Traveler”

(Luke 10:25-37)

July 26th – “Jesus Heals 10 Lepers” (Luke 17:11-19)

August 2nd – “Jesus Comforts Friends on the way to Emmaus”

(Luke 24:13-35)

CONFIRMATION SUNDAY

We will recognize our Confirmation Class of 2019-20 on August 9th at 11:00 am.

RALLY SUNDAY

Online Sunday School begins September 13th.

ALL SAINTS SERVICE

November 1st - This is a special service for those who have lost a loved one during the year

For more details and information visit our website, www.minookaumc.com



June-August Summer time!

In Minooka

Looking for options to replace your cancelled summer plans?!

Check out these local attractions:

1) Will County Forest Preserve

<https://www.reconnectwithnature.org/>

2) Kendall C. Forest Preserve

<https://www.co.kendall.il.us/departments/forest-preserve-district>

3) Ellis House Equestrian Center

<http://www.ellishec.com/>

4) Move in the Park Nights!

<https://www.minooka.com/events/>



RIDGE ROAD CONSTRUCTION NOTICE

As you may be aware, road construction work has begun on Ridge Road between East McEvilly Road and West Mondamin Street. The work beginning next week, May 18th, is expected to increase traffic delays.

This project, which consists of pavement widening, viaduct expansion, storm sewer, multi-use path, sidewalk, and curb and gutter will be completed in several stages. Project completion is anticipated for Fall 2021.

Motorists can expect delays and should allow extra time for trips through this area. Drivers are urged to pay close attention to traffic control devices in the work zones, obey the posted speed limits, and be on the alert for workers, equipment, and changing traffic control patterns.

For questions regarding project details please contact:

Email: ridgeroad@hutchisoneng.com


Phone: (815) 828-5862

PUBLIC WORKS

NOTICE TO RESIDENTS - It is unlawful to remove, plant or transplant any tree on public property (this includes the parkway between the street and sidewalk) without obtaining a permit from the Village.




Are you interested having a tree or trees planted on your private property? Please call or email the Public Works Department at 815-467-8868 ext. 3180 or publicworks@minooka.com if you are interested. We are considering adding a requirement for future bidders to honor the contract price for a specified number of trees to be installed on private property during the Village's tree planting program. The transaction would be between the homeowner and the contractor at a price determined by the Village's contract amount.



Lower DuPage River Watershed Coalition

DUPAGERIVERS.ORG




The Lower DuPage River Watershed Coalition brings together municipalities, wastewater treatment plants, consultants and environmental advocacy groups together to focus on identifying and addressing water quality issues across the watershed. This data-driven approach seeks to find the most cost-effective way to utilize limited resources to improve aquatic life in our local streams.

Watershed Facts

Community
The Lower DuPage River Watershed covers parts of 15 communities, mostly in Will County, including: Naperville, Bolingbrook, Plainfield, Romeoville, Shorewood, Crest Hill, Joliet, Channahon and Minooka

Tributaries
There are 9 major tributaries that drain into the mainstem DuPage, including Springbrook, Wolf Creek, Norman Drain, Lily Cache Creek, Hammel Creek, Spring Creek and Rock Run Creek






Natural Areas
The Lower DuPage River Watershed has a rich diversity of plants and animals. There is a patchwork of forest preserves, parks and nature preserves hosting heron rookeries, wetlands, prairies and woodlands.



Confluences
The East and West Branches of the DuPage River come together to form the mainstem DuPage River at the south end of Naperville. The river continues through Will County to Channahon where it flows into the Des Plaines River.

Wastewater Treatment Plants
Six wastewater treatment plants discharge as much as 47 million gallons a day into the mainstem DuPage River or its tributaries.

Bioassessment
The Bioassessment program collects fish, macroinvertebrate (bugs in the stream), habitat and water & sediment chemistry at approximately 45 sites across the watershed to assess the overall health of our waterways. This data is the backbone of our stressor identification model and provides local data for resource management decisions and project design. The Bioassessment is completed every three years to document incremental changes in the health of our waterways.

Cooperation in partnership with The Conservation Foundation

NEW STRAINS ON OUR WASTEWATER SYSTEM

Clogged Pipes & Increased Disinfectant Use

To combat COVID-19, people are using more and more disinfecting products to keep themselves healthy and safe. However, proper disposal of cleaning items is crucial to maintaining our vital infrastructure.

There are two main dangers with the increased use of disinfectant products: damage to wastewater pipes by clogging and damage to the wastewater treatment process via chemicals.

CLOGGED PIPES

Sanitary and disinfecting wipes should not be flushed down the toilet. They do not break apart or degrade in the wastewater system like toilet paper does. With so many people flushing wipes, increases in clogged pipes, broken pumps, and residential backups are real possibilities. These can pull limited resources away from where they are needed, expose staff to multiple biological hazards, and cost your city thousands of dollars to fix.

DISCARD WIPES AND PAPER TOWELS IN THE TRASH

Paper towels, napkins, sanitary wipes, plastic, and most other things cannot be flushed down the toilet. Even wipes that say "flushable" should not be flushed.

The only things that should ever go down your toilet are human waste and toilet paper. The solution to this issue is easy: throw wipes and paper towels in the trash instead of the toilet.

INCREASED USE OF DISINFECTANTS

The process of cleaning wastewater includes using helpful bacteria to break down human waste so the effluent (treated wastewater) can be safely discharged into the environment. The amount of anti-bacterial chemicals going down residential drains directly or on anti-bacterial wipes has increased dramatically.

Products that can kill bacteria and viruses in your home can also kill the bacteria we rely on to process waste at treatment facilities or in your own septic system. This reduces our ability to produce clean, safe water and causes upsets that ripple all the way through the system.

BE SMART ABOUT YOUR USAGE

To minimize chemical disposal, make sure to dilute bleach and other cleaners to the recommended amount. All bottles have a guide for how much disinfectant to add to water to get the desired results.

Be mindful of your chemical usage. Please use the right amount of cleaning product to keep your home clean and not more than is necessary. Avoid any unnecessary flushing of such chemicals down your sink or toilet.

THANK YOU FOR KEEPING OUR WASTEWATER SYSTEMS FUNCTIONING!

As the EPA has said, it is critical that the nation has "fully operational wastewater services" to contain the virus and protect against other health risks.



Rain Barrel Frequently Asked Questions

What are rain barrels?

A rain barrel is a large container that is used to collect and store rainwater. The rain that falls on your roof is directed into the rain barrel through your downspout. Rain barrels are a simple, efficient, low-cost method for homeowners to conserve water.

Why should I collect rain?

When we think of rain as a precious fresh water resource, it doesn't make sense to manage it like a waste product. Capturing rainwater in a rain barrel gives us clean water to offset our household water usage.

Collecting rain instead of letting it flow off our property as stormwater runoff helps to reduce local flooding and stress on storm sewer infrastructure. Since stormwater runoff picks up pollutants as it flows over the landscape before ending up in local waterways, reducing stormwater runoff also protects local rivers and streams.

What material is the rain barrel made out of?

The Conservation Foundation's rain barrels are made of food-grade recycled plastic. The rain barrels are made from containers once used to ship bulk food, such as olives.

The rain barrels are 55-gallon containers, stand about 4 feet tall and weigh 400 pounds when full of water.

How do I install a rain barrel?

Rain barrels work best when placed on a stand or concrete blocks under a downspout. The added height increases water pressure and provides space for a bucket or watering can to be placed under the valve.

Once the rain barrel is positioned on the platform, measure and cut the downspout to a length just above the top of a barrel. Downspouts can be cut with a hacksaw. Save the cut-off for reattachment in the winter.

Attach two elbows or a flex-elbow connector (available at most hardware stores or on the rain barrel online order website) to the downspout to direct water to the top of the barrel. There are two sizes of flex-elbows (2x3" and 3x4"), so measure your downspout before buying.

For a visual, view this guide or video for installation tips:
Guide: www.lowerdesplainswatershed.org/rain-barrel-guide
Video: www.lowerdesplainswatershed.org/rain-barrel-video

Can I leave my rain barrel out during the winter?

If the barrel fills with water and freezes, it may crack. In the fall, we recommend you empty the rain barrel, properly store it outside or bring it inside, and replace the downspout. If you'd like to leave the barrel outside, turn it upside-down and weigh it down.

Do rain barrels attract mosquitos?

Any standing water is attractive to mosquitos. Fortunately, the rain barrels have screw-off lids with a screen to keep debris and insects from the water—including mosquitos!

How do I use the water that I've collected in my rain barrel?

Use the water in your rain barrel between storms. Water collected in rain barrels is great for watering lawns, gardens and houseplants. You can also use the water to wash your windows, cars or pets! To use, attach a hose to the bottom valve and direct to landscaping, or simply fill buckets or watering cans.

Even if you don't have an intended use for the water, emptying the rain barrel after a storm reduces the rate and volume of stormwater the storm sewer system and our rivers have to manage at a peak time.

Can rain barrels reduce flooding in my neighborhood?

Each and every rain barrel contributes to reducing stormwater runoff in your community. When we collect stormwater in rain barrels and use it at a later time when your lawn is not saturated with stormwater, more water stays on your property. This means there is less stormwater runoff to strain storm sewer infrastructure and overwhelm local rivers and streams, resulting in less flooding in your neighborhood.

Where can I buy a rain barrel?

The Conservation Foundation sells rain barrels year-round through a partnership with Upcycle Products, Inc. The 55-gallon rain barrels are made of recycled food-grade plastic, come in a variety of colors and can be purchased online for \$60 (plus tax). Home delivery is available for \$5 more. Barrels can also be purchased in person at The Conservation Foundation's headquarters at McDonald Farm or area events for \$65 (includes tax).

Buy a rain barrel online at www.lowerdesplainswatershed.org/order-rain-barrel. Rain barrel accessories, such as a wood pedestal and flex elbow, are also available for purchase.

Several communities have also partnered with The Conservation Foundation and Upcycle Products to sell rain barrels to their residents. Check your community's website to see if they have a rain barrel program.

What happens if I forget to use the water or empty the rain barrel between storms?

We encourage you to use the clean rainwater as a resource to offset your household water use! However, you can attach a garden hose to the overflow fitting on the top part of the barrel. When the barrel fills up, additional water will be directed away from the foundation of your house and keep the water level below the screening to prevent mosquitos. You can also attach a diverter to the downspout which allows rainwater to continue out the downspout when the barrel is full.

What else can I do to manage stormwater on my property?

Add native plants to your landscape! Native plants have deep root systems that help infiltrate rainwater into the soil. Native plants not only reduce stormwater runoff, but also create beautiful gardens and provide habitat for birds, butterflies and beneficial insects.

Rain gardens also help manage stormwater at home. Rain gardens are shallow depressions (or low areas on your property) planted with deep-rooted native plants accustomed to wet conditions. Create a rain garden and direct water from the downspout or sump pump into it. Find more information about rain gardens at www.lowerdesplainswatershed.org/benefits-of-rain-gardens

You may also consider permeable pavers for your driveway or patio. These pavers reduce runoff at the source by allowing water to seep into the ground around the pavers. They also improve water quality by filtering out pollutants as stormwater flows through the rock layers installed below the pavers.



Purchase a rain barrel at
www.lowerdesplainswatershed.org/order-rain-barrel



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*****ECRWSS*****

POSTAL PATRON



This newsletter is printed on recycled paper using soybean ink.

This newsletter is being delivered to you as a postal patron of zip code 60447. Although much of the information included in this publication may be of interest, some of it directly affects only those who live inside the corporate limits of the Village of Minooka.

VILLAGE INFORMATION

The Village of Minooka encourages all residents to visit and participate in the Village Board and Committee meetings. Regular meetings of the Village Board are held the 4th Tuesday of each month. They are scheduled to begin at 6:30 p.m. at the Village Hall. Committee of the Whole meetings also take place at the Village Hall on the Wednesday before the Village Board Meeting. To verify a meeting date, please call the Village Hall at (815) 467-2151.

Village President

Patrick J. Brennan (815) 467-6806

Village Trustees

Ric Offerman (815) 258-5270

Terry Houchens (815) 467-4605

Chad Hrechko (815) 482-3823

Dennis Martin (815) 693-6596

Dick Parrish (815) 531-5337

Barry Thompson (815) 353-9188

Village Administrator

Dan Duffy (815) 467-2151

Speak Out !

Communicate with Minooka elected officials and administrators. Your advice, suggestions, questions and opinions are appreciated and will receive a response. Please complete this form, detach, and return to: Village Administrator, Village of Minooka, 121 E. McEvilly, Minooka, IL 60447.

Name: _____

Phone: _____

Address: _____

Comment: _____

VILLAGE OF MINOOKA

SITE PLAN REVIEW PROCESS

The Village of Minooka strives to be a business friendly environment, while maintaining a visually pleasing community. Consistency in the application of our site plan review process and building codes is a priority. The following is the process used to expedite the review of your project. Any questions should be addressed to the Village Planner or Village Administrator.

A concept plan submission is required. It will allow village staff to identify potential changes and improvements prior to the preparation of the site plan. Following concept plan approval, Site Plans/Landscape Plans are submitted for review by staff. All plans and supporting documents are submitted to the Village Planner, who will distribute them for review.

Final Site Plans/Landscape Plans are then reviewed by the Village President, the Board of Trustees and Planning & Zoning Commissioners during workshop sessions. Workshop sessions are generally held on the second and fourth Thursdays of the month, though this schedule is subject to change.

To be reviewed at a workshop session, a complete set of all required drawings and supporting documents must be submitted four weeks prior to the date of the workshop. See Attachment A, B and C for submittal requirements. A Professional Fee Agreement (attached) and the appropriate fee must also be submitted at this time.

Staff will meet with the applicant to review the submittal based on attachments A, B& C and determine whether all the required materials have been submitted. If not, the applicant will be informed of the additional materials that will be required.

The Landscape Consultant and Village Planner will provide preliminary review comments on the landscape plans, zoning compliance, building façade and signage requirements within 10 calendar days of complete submittal. Upon the applicant's prompt response to the review comments, and plan revision if required, final staff approval of these non-engineering aspects of the site plan will be provided no later than 10 days prior to the date of the workshop. To expedite the review process, revisions may be submitted to the Village Planner via electronic files provided the files contain the entire image of the site plan or landscape plan.

Engineering review of the Site Plan and Final Engineering Plans will be conducted concurrently and the preliminary review comments will be provided no later than 10 days prior to the date of the workshop. If the preliminary review indicates that the site plan is viable, a letter indicating site plan approval will be issued.

Following staff approval of the site plan, 25 copies of “11 X 17” plan sets must be provided for distribution to village officials no later than seven days prior to the workshop session.

The village staff will make every effort to have site plans available for review at the next workshop session within the four week timetable described above. However, incomplete submittals, failure to respond to review comments in a timely manner, and plans that require significant revisions may result in a delay in the process.

Though not subject to review at a workshop session (except for the façade), building plan reviews may be conducted concurrently with the site plan review process. Building plans should be submitted directly to the Building Department. The Building Officer will meet with the applicant to review the submittal and determine whether all of the required materials and documents have been submitted. If not, the applicant will be informed of additional materials and documents that will be required. See Attachment D for submittal requirements.

ATTACHMENT A

VILLAGE OF MINOOKA

GENERAL SITE PLAN SUBMITTAL REQUIREMENTS

10 Full-Sized Sets of Complete Plans Shall Be Submitted to the Village Planner

INFORMATION

- Development Name and Name, Address and Phone Number of Owner and Consultant
- Date with all Revision Dates and Sheet Numbers
- Gross Area and Buildable Area of Site
- Location of Wetlands, Floodplains, Floodways and Open Water
- Number of Required Parking Spaces Including Handicapped
- Number of Provided Parking Spaces Including Handicapped

DRAWINGS

- Layout of Proposed Buildings
- Property and Street Right of Way Lines
- Parking Areas Marked With Stalls
- Detention or Retention Areas
- Sidewalks, Pedestrian Ways and Bike Paths
- Landscaped Area Location
- Driveways, Points of Ingress and Egress, Including Left-Turn Lanes
- Location, Design and Size of Proposed Signage
- Dimensions of Buildings, Parking Spaces/Aisles and Street Widths
- Building Elevations of all Four Sides Showing Height and Other Dimensions,
- Materials and Colors
- Location of Utility Easements and Underground Utilities
- Floor and Seating Plan for Restaurants

ATTACHMENT B

Village of Minooka Engineering Submittal Requirements

Concept Plan Submittal

- ❑ Conceptual Site Plan with location map
- ❑ Existing Topography
- ❑ ALTA Survey
- ❑ Aerial Photo
- ❑ Copy of NWI Maps and any other wetland information
- ❑ Copy of FEMA Maps

Site Plan Submittal

- ❑ Preliminary Site Plan with suspect wetlands and FIRM lines shown
- ❑ Preliminary Grading Plan
- ❑ Preliminary Utility Layout
- ❑ Preliminary Cost Estimate
- ❑ Turning Templates (B-40 and largest expected delivery vehicle)
- ❑ Existing topography with overland flow routes (including a minimum of 100' in all directions)
- ❑ IEPA Water and Sewer Permits (unsigned) – *recommended but not required*
- ❑ Notice of Intent (NOI) – *recommended but not required*
- ❑ Preliminary Stormwater Management Report – use Will County Stormwater Management Committee Technical Guidance Manual
 - ❑ Preliminary Detention Calculations
 - ❑ Pond Volume Provided Calculations
 - ❑ Preliminary analysis of Depressional Storage
 - ❑ Preliminary Compensatory Storage Calculations
 - ❑ Floodplain Submittal - if unstudied zone A is shown within 100' of site
- ❑ Preliminary Landscape Plan
- ❑ Additional Preliminary Engineering Calculations
 - ❑ Preliminary PE Calculations

Final Engineering Submittal

- ❑ Final Engineering Drawings
 - ❑ Existing conditions
 - ❑ Geometrics & Paving
 - ❑ Grading
 - ❑ Site Plan
 - ❑ Utilities
 - ❑ Erosion Control
 - ❑ Construction Specifications and Details

- ❑ Final Cost Estimate
- ❑ Plat of Easement
- ❑ Stormwater Pollution Prevention Plan
- ❑ NOI
- ❑ Field Tile Survey
- ❑ Photometrics Plan
- ❑ Final Stormwater Management Report
 - ❑ Off-site tributary areas
 - ❑ Floodplain and floodway analysis
 - ❑ Detention Calculations
 - ❑ Pond Drawdown Time Calculation
 - ❑ Release rate calculations
 - ❑ Tc calculations
 - ❑ Orifice calculations
 - ❑ Overflow Weir calculations
 - ❑ Depressional Storage Analysis
 - ❑ Runoff Calculations
 - ❑ Compensatory Storage Calculations
 - ❑ Storm sewer Calculations (10-year HGL and EGL)
 - ❑ Overland Drainage Calculations
- ❑ IEPA Water and Sewer Permits (signed by Engineer and Developer)
- ❑ Additional Final Engineering Calculations:
 - ❑ Final PE Calculations
 - ❑ Manhole Sizing
- ❑ Turning Templates (B-40 and largest expected delivery vehicle) if changed
- ❑ Identification of on-site wetlands and floodplain/floodway
- ❑ Tree Survey
- ❑ Traffic Study
- ❑ Archaeological Survey
- ❑ Endangered Species Consultation Action Report (IDNR)
- ❑ Final Landscape Plan
- ❑ Copies of Additional Permits
 - ❑ IDNR
 - ❑ US Army Corps of Engineer
 - ❑ Will, South Cook Soil Conservation District (if applicable)

Chapter 9

SOIL EROSION AND SEDIMENT CONTROL

4-9-1: FINDINGS AND PURPOSE:

A. Findings: The Board of Trustees of the Village hereby finds that:

1. Excessive quantities of soil may erode from areas undergoing development for certain nonagricultural uses including but not limited to the construction of dwelling units, commercial buildings and industrial plants, the building of roads and highways, the modification of stream channels and drainageways, and the creation of recreational facilities;
2. The washing, blowing, and falling of eroded soil across and upon roadways endangers the health and safety of users thereof, by decreasing vision and reducing traction of road vehicles;
3. Soil erosion necessitates the costly repairing of gulleys, washed-out fills, and embankments;
4. Sediment from soil erosion tends to clog sewers and ditches and to pollute and silt rivers, streams, lakes, wetlands, and reservoirs;
5. Sediment limits the use of water and waterways for most beneficial purposes, promotes the growth of undesirable aquatic weeds, destroys fish and other desirable aquatic life, and is costly and difficult to remove; and
6. Sediment reduces the channel capacity of waterways and the storage capacity of floodplains and natural depressions, resulting in increased chances of flooding at risk to public health and safety.

B. Purpose: The Board of Trustees therefore declares that the purpose of this Chapter is to safeguard persons, protect property, prevent damage to the environment, and promote the public welfare by guiding, regulating and controlling the design, construction, use and maintenance of any development or other activity which disturbs or breaks the topsoil or otherwise results in the movement of earth on land situated in the Village. It is the intention of this Chapter that the delivery of sediment from sites affected by land-disturbing activities be limited, as closely as practicable, to that which would have occurred if the land had been left in its natural undisturbed state. (Ord. 1996-2, 1-9-1996)

4-9-2: DEFINITIONS:

For the purposes of this Chapter certain terms used herein are defined as set forth below:

BUILDING PERMIT: A permit issued by the Village of Minooka for the construction, erection or alteration of a structure or building.

CERTIFY OR CERTIFICATION: Formally attesting that the specific inspections and tests where required have been performed, and that such tests comply with the applicable requirements of this Chapter.

CLEARING: Any activity which removes vegetative ground cover.

CUBIC YARDS: The amount of material in excavation and/or fill measured by the method of "average end areas".

EXCAVATION: Any act by which organic matter, earth, sand, gravel, rock or any other similar, material is cut into, dug, quarried, uncovered, removed, displaced, relocated or bulldozed and shall include the conditions resulting therefrom.

EXISTING GRADE: The vertical location of the existing ground surface prior to excavation or filling.

FILL: Any act by which earth, sand, gravel, rock or any other material is deposited, placed, replaced, pushed, dumped, pulled, transported or moved by man to a new location and shall include the conditions resulting therefrom.

FINAL GRADE: The vertical location of the ground or pavement surface after the grading work is completed in accordance with the site development plan.

GRADING: Excavation or fill or any combination thereof and shall include the conditions resulting from any excavation or fill.

NATURAL DRAINAGE: Channels formed in the existing surface topography of the earth prior to changes made by unnatural causes.

PARCEL: All contiguous land in one ownership.

PERMITTEE: Any person to whom a site development permit is issued.

PERSON: Any individual, firm or corporation, public or private, the state of Illinois and its agencies or political subdivisions, and the United States of America, its agencies and instrumentalities, and any agent, servant, officer or employee of any of the foregoing.

REMOVAL: Cutting vegetation to the ground or stumps, complete extraction, or killing by spraying.

SITE: A lot or parcel of land, or a contiguous combination thereof, where grading work is

performed as a single unified operation.

SITE DEVELOPMENT: Altering terrain and/or vegetation and constructing improvements.

SITE DEVELOPMENT PERMIT: A permit issued by the village of Minooka for the construction or alteration of ground improvements and structures for the control of erosion, runoff and grading.

STOCKPILE: Earth, soil, or other similar material stripped and piled into a mound which is greater than one hundred (100) square yards and remaining in place for more than seven (7) days.

STREAM: Any river, creek, brook, branch, flowage, ravine, or natural or manmade drainageway which has a definite bed and banks or shoreline, in or into which surface or ground water flows, either perennially or intermittently.

STRIPPING: Any activity which removes the vegetative surface cover including tree removal, clearing, and storage or removal of topsoil.

VACANT: Land on which there are no structures or only structures which are secondary to the use or maintenance of the land itself.

VILLAGE: The village of Minooka, Will County and Grundy County, Illinois.

WETLANDS: Areas that are inundated or saturated by surface water or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. (Ord. 1996-2, 1-9-1996; amd. Ord. 2008-33, 12-17-2008)

4-9-3: GENERAL PRINCIPLES:

It is the objective of this chapter to control soil erosion and sedimentation caused by development activities, including clearing, grading, stripping, excavating, and filling of land, in the village. Measures taken to control soil erosion and off site sediment runoff should be adequate to assure that sediment is not transported from the site by a storm event of 10-year frequency or less. The following principles shall apply to all development activities within the village and to the preparation of the submissions required under section [4-9-4](#) of this chapter:

- A. Development should be related to the topography and soils of the site so as to create the least potential for erosion. Areas of steep slopes where high cuts and fills may be required should be avoided wherever possible, and natural contours should be followed as closely as possible.

- B. Natural vegetation should be retained and protected wherever possible. Areas immediately adjacent to natural watercourses, lakes, ponds, and wetlands should be left undisturbed wherever possible. Temporary crossings of watercourses, when permitted, must include appropriate stabilization measures.

- C. Special precaution should be taken to prevent damages resultant from any necessary development activity within or adjacent to any stream, lake, pond, or wetland. Preventative measures should reflect the sensitivity of these areas to erosion and sedimentation.

- D. The smallest practical area of land should be exposed for the shortest practical time during development.

- E. Sediment basins or traps, filter barriers, diversions, and any other appropriate sediment or runoff control measures should be installed prior to site clearing and grading and maintained to remove sediment from runoff waters from land undergoing development.

- F. The selection of erosion and sedimentation control measures should be based on assessment of the probable frequency of climatic and other events likely to contribute to erosion, and on evaluation of the risks, costs, and benefits involved.

- G. In the design of erosion control facilities and practices, aesthetics and the requirements of continuing maintenance should be considered.

- H. Provision should be made to accommodate the increased runoff caused by changed soil and surface conditions during and after development. Drainageways should be designed so that their final gradients and the resultant velocities and rates of discharge will not create additional erosion on site or downstream.

- I. Permanent vegetation and structures should be installed and functional as soon as practical during development.

- J. Those areas being converted from agricultural purposes to other land uses should be vegetated with an appropriate protective cover prior to development.
- K. All waste generated as a result of site development activity should be properly disposed of and should be prevented from being carried off the site by either wind or water.
- L. All construction sites should provide measures to prevent sediment from being tracked onto public or private roadways. (Ord. 1996-2, 1-9-1996)

4-9-4: SITE DEVELOPMENT PERMIT:

- A. Permit Required: Except as otherwise provided in this chapter, no person shall commence or perform any clearing, grading, stripping, excavating, or filling of land which meets the following provisions without having first obtained a site development permit from the village board.
 - 1. Any land disturbing activity (i.e., clearing, grading, stripping, excavation, fill, or any combination thereof) that will affect an area in excess of one acre;
 - 2. Any land disturbing activity that will affect an area in excess of five thousand (5,000) square feet if the activity is within twenty five feet (25') of a lake, pond, stream, or wetland; or
 - 3. Excavation, fill, or any combination thereof that will exceed one hundred (100) cubic yards.
- B. Exceptions: A permit shall not be required for any of the following; provided, that the person responsible for any such development shall implement necessary soil erosion and sediment control measures to satisfy the principles set forth in section [4-9-3](#) of this chapter:
 - 1. Excavation below final grade for the basement and footings of a single-family residence and appurtenant structures on a site in excess of two (2) acres for which a building permit has been issued by the village;
 - 2. Agricultural use of land, including the implementation of conservation measures included in a farm conservation plan approved by the soil and water conservation district, and including the construction of agricultural structures;

3. Installation, renovation, or replacement of a septic system to serve an existing dwelling or structure.

C. Application For Permit; Fee: Application for a site development permit shall be made by the owner of the property or his authorized agent to the village board on a form furnished for that purpose. Each application shall bear the name(s) and address(es) of the owner or developer of the site and of any consulting firm retained by the applicant together with the name of the applicant's principal contact at such firm, and shall be accompanied by a filing fee of twenty five dollars (\$25.00). Each application shall include certification that any land clearing, construction, or development involving the movement of earth shall be in accordance with the plans approved upon issuance of the permit.

D. Submissions: Each application for a site development permit shall be accompanied by the following information:

1. A vicinity map in sufficient detail to enable easy location in the field of the site for which the permit is sought, and including the boundary line and approximate acreage of the site, existing zoning, and a legend and scale.
2. A development plan of the site showing:
 - a. Existing topography of the site and adjacent land within approximately one hundred feet (100') of the boundaries, drawn at no greater than two foot (2') contour intervals and clearly portraying the conformation and drainage pattern of the area.
 - b. The location of existing buildings, structures, utilities, streams, lakes, floodplains, wetlands and depressions, drainage facilities, vegetative cover, paved areas, and other significant natural or manmade features on the site and adjacent land within one hundred feet (100') of the boundary.
 - c. A general description of the predominant soil types on the site, their location, and their limitations for the proposed use.
 - d. Proposed use of the site, including present development and planned utilization; areas of clearing, stripping, grading, excavation, and filling; proposed contours, finished grades, and street profiles; provisions for storm drainage, including storm sewers, swales, detention basins and any other measures to control the rate of runoff, with a drainage area map, indications of flow directions, and computations; kinds and locations of utilities; and areas and acreages proposed to be paved, covered, sodded or seeded, vegetatively stabilized, or left undisturbed.
3. An erosion and sediment control plan showing all measures necessary to meet the objectives of this chapter throughout all phases of construction and permanently after completion of development of the site, including:
 - a. Location and description, including standard details, of all sediment control measures and design specifics of sediment basins and traps, including outlet details.

- b. Location and description of all soil stabilization and erosion control measures, including seeding mixtures and rates, types of sod, method of seedbed preparation, expected seeding dates, type and rate of lime and fertilizer application, kind and quantity of mulching for both temporary and permanent vegetative control measures, and types of nonvegetative stabilization measures.
 - c. Location and description of all runoff control measures, including diversions, waterways, and outlets.
 - d. Location and description of methods to prevent tracking of sediment off site, including construction entrance details, as appropriate.
 - e. Description of dust and traffic control measures. (Ord. 1996-2, 1-9-1996)
 - f. An exhibit indicating location and dimensions of all stockpiles, description of stabilization methods, and approximate dates from the creation of each stockpile until complete removal. (Ord. 2008-33, 12-17-2008)
 - g. Description of off site fill or borrow volumes, locations, and methods of stabilization.
 - h. Provisions for maintenance of control measures, including type and frequency of maintenance, easements, and estimates of the cost of maintenance.
 - i. Identification (name, address, and telephone) of the person(s) or entity which will have legal responsibility for maintenance of erosion control structures and measures during development and after development is completed.
4. The proposed phasing of development of the site, including stripping and clearing, rough grading and construction, and final grading and landscaping. Phasing should identify the expected date on which clearing will begin, the estimated duration of exposure of cleared areas, and the sequence of installation of temporary sediment control measures (including perimeter controls), clearing and grading, installation of temporary soil stabilization measures, installation of storm drainage, paving streets and parking areas, final grading and the establishment of permanent vegetative cover, and the removal of temporary measures. It shall be the responsibility of the applicant to notify the Village Board of any significant changes which occur in the site development schedule after the initial erosion and sediment control plan has been approved.

These submissions shall be prepared in accordance with the requirements of this Chapter and the standards and requirements contained in "Standards and Specifications for Soil Erosion and Sediment Control" (the Yellow Book) published by the Illinois Environmental Protection Agency and the "Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control" (the Green Book) prepared by the Northeastern Illinois Soil Erosion and Sedimentation Control Steering Committee and adopted by the Will County and/or Grundy County Soil and Water Conservation District, which standards and requirements are hereby incorporated into this Chapter by reference.

The Village Board may waive specific requirements for the content of submissions

upon finding that the information submitted is sufficient to show that the work will comply with the objectives and principles of this Chapter.

- E. Bonds: The applicant is required to file with the Village a faithful performance bond or bonds, letter of credit, or other improvement security satisfactory to the Village Attorney in an amount deemed sufficient by the Village Board to cover all costs of improvements, landscaping, maintenance of improvements and landscaping, and soil erosion and sediment control measures for such period as specified by the Village, and engineering and inspection costs to cover the cost of failure or repair of improvements installed on the site.
- F. Review And Approval: Each application for a site development permit shall be reviewed and acted upon according to the following procedures:
1. The Village Board will review each application for a site development permit to determine its conformance with the provisions of this Chapter. The Board may also refer any application to the Will and/or Grundy County Soil and Water Conservation District and/or any other local government or public agency within whose jurisdiction the site is located for review and comment. Within thirty (30) days after receiving an application, the Village Board shall in writing:
 - a. Approve the permit application if it is found to be in conformance with the provisions of this Chapter and issue the permit;
 - b. Approve the permit application subject to such reasonable conditions as may be necessary to secure substantially the objectives of this Chapter and issue the permit subject to these conditions; or
 - c. Disapprove the permit application, indicating the deficiencies and the procedure for submitting a revised application and/or submission.
 2. No site development permit shall be issued for an intended development site unless:
 - a. The development, including but not limited to subdivisions and planned unit development, has been approved by the Village where applicable, or
 - b. Such permit is accompanied by or combined with a valid building permit issued by the Village, or
 - c. The proposed earth moving is coordinated with any overall development program previously approved by the Village for the area in which the site is situated; and
 - d. All relevant Federal and State permits (i.e., for floodplains and wetlands) have been received for the portion of the site subject to soil disturbance.
 3. Failure of the Village Board to act on an original or revised application within thirty (30) days of receipt shall authorize the applicant to proceed in accordance with the plans as

filed unless such time is extended by agreement between the Village Board and the applicant. Pending preparation and approval of a revised plan, development activities shall be allowed to proceed in accordance with conditions established by the Village Board.

- G. Expiration Of Permit: Every site development permit shall expire and become null and void if the work authorized by such permit has not been commenced within one hundred eighty (180) days, or is not completed by a date which shall be specified in the permit; except that the Village Board may, if the permittee presents satisfactory evidence that unusual difficulties have prevented work being commenced or completed within the specified time limits, grant a reasonable extension of time if written application is made before the expiration date of the permit. The Village Board may require modification of the erosion control plan to prevent any increase in erosion or offsite sediment runoff resulting from any extension.
- H. Appeals: The applicant, or any person or agency which received notice of the filing of the application, may make an appeal of the decision of the Village Board. Upon receipt of an appeal, the Village Board shall schedule and hold a public hearing, after giving fifteen (15) days' notice thereof. The Village Board shall render a decision within thirty (30) days after the hearing. Factors to be considered on review shall include, but need not be limited to, the effects of the proposed development activities on the surface water flow to tributary and downstream lands, any comprehensive watershed management plans, or the use of any retention facilities; possible saturation of fill and unsupported cuts by water, both natural and domestic; runoff surface waters that produce erosion and silting of drainageways; nature and type of soil or rock which when disturbed by the proposed development activities may create earth movement and produce slopes that cannot be landscaped; and excessive and unnecessary scarring of the natural landscape through grading or removal of vegetation.
- I. Retention Of Plans: Plans, specifications, and reports for all site developments shall be retained in original form or on microfilm by the Village Board. (Ord. 1996-2, 1-9-1996)

4-9-5: DESIGN AND OPERATION STANDARDS AND REQUIREMENTS:

- A. Applicability: All clearing, grading, stripping, excavating, and filling which is subject to the permit requirements of this Chapter shall be subject to the applicable standards and requirements set forth in this Section [4-9-5](#).

B. Responsibility: The permittee shall not be relieved of responsibility for damage to persons or property otherwise imposed by law, and the Village or its officers or agents will not be made liable for such damage, by: 1) the issuance of a permit under this Chapter, 2) compliance with the provisions of that permit or with conditions attached to it by the Village Board, 3) failure of Village officials to observe or recognize hazardous or unsightly conditions, 4) failure of Village officials to recommend denial of or to deny a permit, or 5) exemptions from the permit requirements of this Chapter.

C. Site Design Requirements:

1. On-site sediment control measures, as specified by the following criteria, shall be constructed and functional prior to initiating clearing, grading, stripping, excavating or fill activities on the site.
 - a. For disturbed areas draining less than one acre, filter barriers (including filter fences, straw bales, or equivalent control measures) shall be constructed to control all off-site runoff as specified in referenced handbooks. Vegetated filter strips, with a minimum width of twenty five feet (25'), may be used as an alternative only where runoff in sheet flow is expected.
 - b. For disturbed areas draining more than one but less than five (5) acres, a sediment trap or equivalent control measure shall be constructed at the downslope point of the disturbed area.
 - c. For disturbed areas draining more than five (5) acres, a sediment basin or equivalent control measure shall be constructed at the downslope point of the disturbed area.
 - d. Sediment basins and sediment traps designs shall provide for both detention storage and sediment storage. The detention storage shall be composed of equal volumes of "wet" detention storage and "dry" detention storage and each shall be sized for the 2-year, 24-hour runoff from the site under maximum runoff conditions during construction. The release rate of the basin shall be that rate required to achieve minimum detention times of at least ten (10) hours. The elevation of the outlet structure shall be placed such that it only drains the dry detention storage.
 - e. The sediment storage shall be sized to store the estimated sediment load generated from the site over the duration of the construction period with a minimum storage equivalent to the volume of sediment generated in one year. For construction periods exceeding one year, the 1-year sediment load and a sediment removal schedule may be substituted.
2. Stormwater conveyance channels, including ditches, swales, and diversions, and the outlets of all channels and pipes shall be designed and constructed to withstand the expected flow velocity from the 10-year frequency storm without erosion. All constructed or modified channels shall be stabilized within forty eight (48) hours, consistent with the following standards:

- a. For grades up to four percent (4%), seeding in combination with mulch, erosion blanket, or an equivalent control measure shall be applied. Sod or erosion blanket or mat shall be applied to the bottom of the channel.
 - b. For grades of four percent (4%) to eight percent (8%), sod or an equivalent control measure shall be applied in the channel.
 - c. For grades greater than eight percent (8%), rock, riprap, or an equivalent control measure shall be applied, or the grade shall be effectively reduced using drop structures.
3. Disturbed areas shall be stabilized with temporary or permanent measures within seven (7) calendar days following the end of active disturbance, or redisturbance, consistent with the following criteria:
- a. Appropriate temporary or permanent stabilization measures shall include seeding, mulching, sodding, and/or nonvegetative measures.
 - b. Areas having slopes greater than twelve percent (12%) shall be stabilized with sod, mat or blanket in combination with seeding, or equivalent.
4. Land disturbance activities in stream channels shall be avoided, where possible. If disturbance activities are unavoidable, the following requirements shall be met:
- a. Construction vehicles shall be kept out of the stream channel to the maximum extent practicable. Where construction crossings are necessary, temporary crossings shall be constructed of nonerosive material, such as riprap or gravel.
 - b. The time and area of disturbance of stream channels shall be kept to a minimum. The stream channel, including bed and banks, shall be restabilized within forty eight (48) hours after channel disturbance is completed, interrupted, or stopped.
 - c. Whenever channel relocation is necessary, the new channel shall be constructed in the dry and fully stabilized before flow is diverted.
5. Storm sewer inlets and culverts shall be protected by sediment traps or filter barriers meeting accepted design standards and specifications. (Ord. 1996-2, 1-9-1996)
6. If dewatering devices are used, discharge locations shall be protected from erosion. All pumped discharges shall be routed through appropriately designed sediment traps or basins, or equivalent.
7. Each site shall have graveled (or equivalent) entrance roads, access drives, and parking areas of sufficient length and width to prevent sediment from being tracked onto public or private roadways. Any sediment reaching a public or private road shall be removed by shoveling or street cleaning (not flushing) before the end of each workday and transported to a controlled sediment disposal area.
8. All temporary and permanent erosion and sediment control practices must be maintained and repaired as needed to assure effective performance to their intended function.

9. All temporary erosion and sediment control measures shall be disposed of within thirty (30) days after final site stabilization is achieved with permanent soil stabilization measures. Trapped sediment and other disturbed soils resulting from the disposition of temporary measures should be permanently stabilized to prevent further erosion and sedimentation. (Ord. 1996-2, 1-9-1996; amd. Ord. 2008-33, 12-17-2008)

D. Handbooks Adopted By Reference: The standards and specifications contained in "Standards And Specifications For Soil Erosion And Sediment Control" (the Yellow Book) and the "Illinois Procedures And Standards For Urban Soil Erosion And Sedimentation Control" (the Green Book) cited in section [4-9-4](#) of this chapter, are hereby incorporated into this section and made a part hereof by reference for the purpose of delineating procedures and methods of operation under site development and erosion and sedimentation control plans approved under section [4-9-4](#) of this chapter. In the event of conflict between provisions of said manuals and of this chapter, this chapter shall govern.

E. Maintenance Of Control Measures: All soil erosion and sediment control measures necessary to meet the requirements of this chapter shall be maintained periodically by the applicant or subsequent landowner during the period of land disturbance and development of the site in a satisfactory manner to ensure adequate performance.

F. Inspection: The village board or its designee shall make inspections as hereinafter required and shall either approve that portion of the work completed or shall notify the permittee wherein the work fails to comply with the site development or erosion and sedimentation control plan as approved. Plans for grading, stripping, excavating, and filling work bearing the stamp of approval of the village board or its designee shall be maintained at the site during progress of the work. In order to obtain inspections and to ensure compliance with the approved erosion and sediment control plan, the grading or building permit, and this chapter the permittee shall notify the village board or its designee within two (2) working days of the completion of the construction stages specified below:

1. Upon completion of installation of sediment and runoff control measures (including perimeter controls and diversions), prior to proceeding with any other earth disturbance or grading,
2. After stripping and clearing,
3. After rough grading,
4. After final grading,
5. After seeding and landscaping deadlines, and
6. After final stabilization and landscaping, prior to removal of sediment controls.

If stripping, clearing, grading and/or landscaping are to be done in phases or areas, the permittee shall give notice and request inspection at the completion of each of the above work stages in each phase or area. If an inspection is not made and notification of the results given within five (5) working days after notice is received by the village from the permittee, the permittee may continue work at his own risk, without presuming acceptance by the village. Notification of the results of the inspection shall be given in writing at the site.

G. Special Precautions:

1. If at any stage of the grading of any development site the village board determines by inspection that the nature of the site is such that further work authorized by an existing permit is likely to imperil any property, public way, stream, lake, wetland, or drainage structure, the village board may require, as a condition of allowing the work to be done, that such reasonable special precautions to be taken as is considered advisable to avoid the likelihood of such peril. "Special precautions" may include, but shall not be limited to, a more level exposed slope, construction of additional drainage facilities, berms, terracing, compaction, or cribbing, installation of plant materials for erosion control, and recommendations of a registered soils engineer and/or engineering geologist which may be made requirements for further work.
2. Where it appears that storm damage may result because the grading on any development site is not complete, work may be stopped and the permittee required to install temporary structures or take such other measures as may be required to protect adjoining property or the public safety. On large developments or where unusual site conditions prevail, the village board may specify the time of starting grading and time of completion or may require that the operations be conducted in specific stages so as to ensure completion of protective measures or devices prior to the advent of seasonal rains.

H. Amendment Of Plans: Major amendments of the site development or erosion and sedimentation control plans shall be submitted to the village board and shall be processed and approved or disapproved in the same manner as the original plans. Field modifications of a minor nature may be authorized by the village board by written authorization to the permittee. (Ord. 1996-2, 1-9-1996)

I. Stockpiles:

1. The area of land exposed during site development should be limited to the smallest working area practicable. The period of time during which land is exposed without vegetation should be limited to the shortest period practicable.
2. The base of stockpiles shall not be located within two hundred feet (200') of the perimeter of the development or within two hundred feet (200') from the nearest home,

and stockpiles shall not be located on floodplains, overflow routes, areas subject to frequent inundation, or park sites. Stockpiles shall not be located with a downslope drainage length of less than twenty five feet (25') to a roadway or drainage channel. Filter barriers, including straw bales, filter fence, or equivalent, shall be installed immediately on the downslope side of the stockpiles.

3. Stockpiles shall not exceed twenty five feet (25') in height.
4. Any stockpile that remains undisturbed longer than seven (7) days shall have approved sediment and erosion control measures, such as a silt fence, surrounding the entire base of the stockpile, and a gradient ratio of not more than three to one (3:1).
5. No stockpile shall be allowed to remain in the development phase after completion of the last structure in that development phase, and no occupancy permit shall be issued for the last structure in the development phase until all dirt stockpiles are removed from that phase. Without prior written approval from the village, all dirt stockpiles shall be removed for each phase no later than three (3) years after the first building permit is issued for that phase or prior to the issuance of the last occupancy permit in the phase, whichever is first to occur.
6. The permittee, developer, and/or owner shall abide by the village's noxious weeds ordinance ([title 7, chapter 3](#) of this code), and shall not permit weeds such as jimson, burdock, ragweed, thistle, cocklebur, poison ivy, poison oak, poison sumac or other weeds of a like kind, to grow in and around any stockpile.
7. Any stockpile that remains in the same place longer than one year must be seeded or sodded and maintained in that condition for the remainder of the term of that stockpile.
8. Stockpiles must be maintained in such a way as to minimize the height and to minimize the danger to children, including the removal of all potentially harmful debris.
9. All stockpiles in existence at the time of passage of this subsection, but which do not conform to one or more provisions of this subsection, shall be brought into compliance by July 30, 2009. (Ord. 2008-33, 12-17-2008)

4-9-6: ENFORCEMENT:

- A. Exceptions: The village board may, in accordance with the following procedures, authorize exceptions to any of the requirements and regulations set forth in this chapter:
 1. Application for any exception shall be made by a verified petition of the applicant for a site development permit, stating fully the grounds of the petition and the facts relied upon by the applicant. Such petition shall be filed with the site development permit application. In order for the petition to be granted, it shall be necessary that the village board find all of the following facts with respect to the land referred to in the petition:

- a. That the land is of such shape or size or is affected by such physical conditions or is subject to such title limitations of record, that it is impossible or impractical for the applicant to comply with all of the requirements of this chapter;
 - b. That the exception is necessary for the preservation and enjoyment of a substantial property right of the applicant; and
 - c. That the granting of the exception will not be detrimental to the public welfare or injurious to other property in the vicinity of the subject property.
2. Each application for an exception shall be referred to the village board for review.
 3. The village board shall hold a public hearing on each application for exception, within thirty (30) days after receiving application, in the manner provided with respect to appeals. After public hearing, the village board may approve the site development permit application with the exceptions and conditions it deems necessary or it may disapprove such site development permit application and exception application or it may take such other action as appropriate.
- B. Stop Work Order; Revocation Of Permit: In the event any person holding a site development permit pursuant to this chapter violates the terms of the permit, or carries on site development in such a manner as to materially adversely affect the health, welfare, or safety of persons residing or working in the neighborhood of the development site or so as to be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood, the village board may suspend or revoke the site development permit.
1. Suspension of a permit shall be by a written stop work order issued by the village board and delivered to the permittee or his agent or the person performing the work. The stop work order shall be effective immediately, shall state the specific violations cited, and shall state the conditions under which work may be resumed. A stop work order shall remain in effect until the next regularly scheduled meeting of the village board at which the conditions of the subsections below can be met.
 2. No site development permit shall be permanently suspended or revoked until a hearing is held by the village board. Written notice of such hearing shall be served on the permittee, either personally or by registered mail, and shall state:
 - a. The grounds for complaint or reasons for suspension or revocation, in clear and concise language; and
 - b. The time when and place where such hearing will be held. Such notice shall be served on the permittee at least five (5) days prior to the date set for the hearing. At such hearing, the permittee shall be given an opportunity to be heard and may call witnesses and present evidence on his behalf. At the conclusion of the hearing the village board shall determine whether the permit shall be suspended or revoked.

C. Violations And Penalties: No person shall construct, enlarge, alter, repair, or maintain any grading, excavation or fill, or cause the same to be done, contrary to or in violation of any terms of this chapter. Any person violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor, and each day during which any violation of any of the provisions of this chapter is committed, continued, or permitted shall constitute a separate offense. Upon conviction of any such violation, such person, partnership, or corporation shall be punished by a fine of not more than one thousand dollars (\$1,000.00) for each offense. In addition to any other penalty authorized by this section, any person, partnership, or corporation convicted of violating any of the provisions of this chapter shall be required to restore the site to the condition existing prior to commission of the violation, or to bear the expense of such restoration.

D. Separability: The provisions and sections of this chapter shall be deemed to be separable, and the invalidity of any portion of this chapter shall not affect the validity of the remainder. (Ord. 1996-2, 1-9-1996)



Inlet protection in tact



Silt fence facing West



Silt fence from Brannick Road facing South



New entrance at Brannick Road facing South



Silt Fence from Arbor Lakes Drive Facing North



Silt Fence from Ridge Road Facing West



Inlet protection in tact



Silt fence facing West



Silt fence from Brannick Road facing South



New entrance at Brannick Road facing South



Silt Fence from Arbor Lakes Drive Facing North



Silt Fence from Ridge Road Facing West

S.W.P.P.P. - REGULAR INSPECTION
 United States Cold Storage = Phase 6C
 Watermark Job # 19-076
 601 Twin Rail Drive
 Minooka, IL 60447
 Date of Inspection: Friday 5/15/20

Name and Title of Inspector: BILL CLINK SUPERINTENDENT	Company: UISC	Qualifications of Inspector: (THIS TOGETHER WITH TRAINING CLASSES)	SWPPP Binder present on site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not accessible	SWPPP Binder - certificates signed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SWPPP Binder - regular reports (7 day and after 0.5")? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Binder not accessible	NPDES letter and permit posted in prominent place? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
---	-------------------------	--	---	---	---	--

NPDES Permit No.: ILR10BE14	Weather During Inspection: clear	Any Noted Discharge During Inspection: none	Inspection Type: <input type="checkbox"/> Weekly routine <input type="checkbox"/> Weekly post-storm <input type="checkbox"/> Monthly routine <input type="checkbox"/> Monthly post-storm	Storm Start Time: 5/14/20	Storm Duration: 5/15/20	Approximate Amount of Rainfall (inches): 1"
---------------------------------------	--	---	--	-------------------------------------	-----------------------------------	---

Inspection Area		Good	Fair	Poor	N/A	Requires Attention
1) Points of Discharge / Outlet Stabilization		<input checked="" type="checkbox"/>				
2) Construction Entrance/ Exit		<input checked="" type="checkbox"/>				
3) Perimeter Control Measures		<input checked="" type="checkbox"/>				
4) Temporary Sediment Basins, Gravel and Rip-rap Basins and Sediment Traps		<input checked="" type="checkbox"/>				
5) Inlet Protection		<input checked="" type="checkbox"/>				
6) Storm Drainage Culverts		<input checked="" type="checkbox"/>				
7) Curb and Gutter		<input checked="" type="checkbox"/>				
8) Stormwater Detention/Retention Facility		<input checked="" type="checkbox"/>				
9) Vehicle Service Area Berm		<input checked="" type="checkbox"/>				
10) Concrete Washout		<input checked="" type="checkbox"/>				
11) Slope Stabilization		<input checked="" type="checkbox"/>				
12) Stormwater Channels		<input checked="" type="checkbox"/>				
13) Temporary or Permanent Seeding, Sodding, Mulching, or Landscaping		<input checked="" type="checkbox"/>				
14) Material Management and Storage		<input checked="" type="checkbox"/>				
15) Solid Construction Waste		<input checked="" type="checkbox"/>				
16) Sanitary Wastes		<input checked="" type="checkbox"/>				
17) Non-Stormwater Discharges		<input checked="" type="checkbox"/>				
18) Polymers		<input checked="" type="checkbox"/>				
19) Location(s) Where Additional BMP is Needed That Was Not Shown On The Plan		<input checked="" type="checkbox"/>				

S.W.P.P.P. – REGULAR INSPECTION

United States Cold Storage = Phase 6C

Watermark Job # 19-076

601 Twin Rail Drive

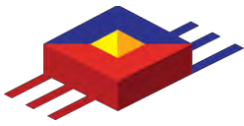
Minooka, IL 60447

Date of Inspection: *Monday 6/1/20*

Name and Title of Inspector:	<i>Bill Clink</i> <i>Superintendent</i>
Company:	<i>UTSC</i>
Qualifications of Inspector:	<i>Christopher Burke</i> <i>Training Classes</i>
SWPPP Binder present on site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not accessible
SWPPP Binder – certificates signed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Binder not accessible
SWPPP Binder – regular reports (7 day and after 0.5")?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Binder not accessible
NPDES letter and permit posted in prominent place?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

NPDES Permit No.:	<i>ILR10BE14</i>
Weather During Inspection:	<i>Cloudy</i>
Any Noted Discharge During Inspection:	<i>None</i>
Inspection Type:	<input checked="" type="checkbox"/> Weekly routine <input type="checkbox"/> Weekly post-storm <input type="checkbox"/> Monthly routine <input type="checkbox"/> Monthly post-storm
Storm Start Time:	
Storm Duration :	
Approximate Amount of Rainfall (inches):	

Inspection Area	Overall Condition				Requires Attention		
	Good	Fair	Poor	N/A	Yes	No	N/A
1) Points of Discharge / Outlet Stabilization	/					/	
2) Construction Entrance/ Exit	/					/	
3) Perimeter Control Measures	/					/	
4) Temporary Sediment Basins, Gravel and Rip-rap Basins and Sediment Traps	/					/	
5) Inlet Protection	/					/	
6) Storm Drainage Culverts	/					/	
7) Curb and Gutter	/					/	
8) Stormwater Detention/Retention Facility	/					/	
9) Vehicle Service Area Berm				/			
10) Concrete Washout				/			
11) Slope Stabilization	/					/	
12) Stormwater Channels	/					/	
13) Temporary or Permanent Seeding, Sodding, Mulching, or Landscaping	/					/	
14) Material Management and Storage	/					/	
15) Solid Construction Waste				/			
16) Sanitary Wastes				/			
17) Non-Stormwater Discharges				/			
18) Polymers				/			
19) Location(s) Where Additional BMP is Needed That Was Not Shown On The Plan				/			



NPDES Site Observation Report for ILR10 BR86

General Information

Project Name	Prime Site	Approximate Acreage 24.53
Operator	Prime, Inc.	JHA Project No.: D282d.01
Project Location	6901 East Minooka Road, Minooka, IL 60447	
Date of Site Visit	1/18/2021	NPDES Permit No. ILR10 BR86
Observer's Name(s) & Title(s)	Bob Barbieri – Project Engineer	
Construction phase at time of visit	<input checked="" type="checkbox"/> Pre-Construction <input checked="" type="checkbox"/> Land Development <input type="checkbox"/> Vertical Construction <input type="checkbox"/> Roadway Construction <input type="checkbox"/> Post Construction <input type="checkbox"/> Other:	
Type of Site Visit:	<input checked="" type="checkbox"/> Routine <input type="checkbox"/> Post-Storm Event <input type="checkbox"/> Other:	
Visit Number: 2		

Weather Information

Cloudy, 29°F, Wind W 11 mph	Last measured precipitation event ≥ 0.5": 1.50" precipitation reported 12/11-12/12/20 at Romeoville Airport
------------------------------------	---

No.	BMP/ Activity	Implemented & Maintained
1	Are discharge points and receiving waters free of sediment deposits and other pollutants?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
2	Have BMPs specified in the SWPPP been installed and maintained?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
3	Has the SWPPP been updated to reflect the current conditions on site?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
4	Are outlets protected/stabilized?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
5	Have stormwater management systems been constructed, stabilized, and verified to be functioning appropriately?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
6	Are Special Management Areas (e.g., creeks, wetlands, buffers, etc.) adequately protected?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
7	Are storm drain inlets adequately protected?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
8	Have all idle, disturbed areas been stabilized within 14 days of cessation of construction activities in that area (or more restrictive time period per local ordinance requirements)?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
9	Are erodible stockpiles (e.g., topsoil) properly located and adequately protected?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
10	Are washout facilities (e.g., concrete washouts, etc.) available and maintained?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
11	Is waste, including building materials and construction debris, collected and placed in approved receptacles?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
12	Are non-stormwater discharges (e.g., dewatering) properly controlled?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
13	Are vehicle and equipment fueling, cleaning, and maintenance areas free of spills, leaks, or any other potential pollutants?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
14	Are portable toilets, material storage areas, and materials that are potential stormwater contaminants managed appropriately?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
15	Are stabilized entrances installed and are adjacent roads clear of sediment?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
16	Other, based on site conditions:	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A



Site Observations – Describe Issue, Location and Recommend Corrective Measures		
No.	Location and Recommended Corrective Measure	Completed/Initial*
		<input type="checkbox"/>

*Following completion of corrective measure, check and initial


General Notes and Comments:

This inspection was conducted as a routine inspection. No construction activities were taking place during the time of inspection. The construction entrance on the east side of the Site is in good condition and no tracking of sediment and debris were observed. All the perimeter silt fencing has been installed is in good condition except for a section along the north perimeter where a chunk of soil has rolled onto the silt fence crushing a section (**Figure 1**). Since the area outside the silt fence slopes down toward the silt fence, off-site sedimentation does not pose a problem at this time. Filter baskets have been installed in inlets along McLinden Rd. Heavy equipment staging area is free of spills and leaks. JHA will continue to monitor the site and recommend any corrective actions be taken if necessary.

Certification Statement: (To address NPDES Permit NO. ILR10 requirements)

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Print Name & Title: Ben Alonzo QCIS, DECI – Project Manager

Signature: 

Date: 1/20/2021



Figure 1: Silt fence damaged by mass grading along north perimeter of Site; view to west.



Figure 2: No tracking of sediment and debris observed at east entrance of Site; view to north.



Figure 3: Silt fence in good condition along west perimeter of Site; view to south.



Figure 4: Double silt fence in good condition along southwest perimeter of Site and adjacent to wetland; view to northwest.



Figure 5: Silt fence in good condition along south perimeter of Site; view to east.



Figure 6: Silt fence in good condition along east perimeter of Site; view to south.



NPDES Site Observation Report for ILR10 BR86

General Information

Project Name	Prime Site	Approximate Acreage 24.53
Operator	Prime, Inc.	JHA Project No.: D282d.01
Project Location	6901 East Minooka Road, Minooka, IL 60447	
Date of Site Visit	5/10/2021	NPDES Permit No. ILR10 BR86
Observer's Name(s) & Title(s)	Jeana Logue- Project Engineer	
Construction phase at time of visit	<input checked="" type="checkbox"/> Pre-Construction <input checked="" type="checkbox"/> Land Development <input type="checkbox"/> Vertical Construction <input type="checkbox"/> Roadway Construction <input type="checkbox"/> Post Construction <input type="checkbox"/> Other:	
Type of Site Visit:	<input checked="" type="checkbox"/> Routine <input checked="" type="checkbox"/> Post-Storm Event <input type="checkbox"/> Other:	
Visit Number: 16		

Weather Information

Mostly Cloudy, 59°F, Wind NE 8 mph	Last measured precipitation event ≥ 0.5": 2.28" precipitation reported 5/8 – 5/10/21 at Romeoville Airport
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No.	BMP/ Activity	Implemented & Maintained
1	Are discharge points and receiving waters free of sediment deposits and other pollutants?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
2	Have BMPs specified in the SWPPP been installed and maintained?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Action Item <input type="checkbox"/> N/A
3	Has the SWPPP been updated to reflect the current conditions on site?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
4	Are outlets protected/stabilized?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
5	Have stormwater management systems been constructed, stabilized, and verified to be functioning appropriately?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
6	Are Special Management Areas (e.g., creeks, wetlands, buffers, etc.) adequately protected?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
7	Are storm drain inlets adequately protected?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
8	Have all idle, disturbed areas been stabilized within 14 days of cessation of construction activities in that area (or more restrictive time period per local ordinance requirements)?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
9	Are erodible stockpiles (e.g., topsoil) properly located and adequately protected?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
10	Are washout facilities (e.g., concrete washouts, etc.) available and maintained?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
11	Is waste, including building materials and construction debris, collected and placed in approved receptacles?	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A
12	Are non-stormwater discharges (e.g., dewatering) properly controlled?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
13	Are vehicle and equipment fueling, cleaning, and maintenance areas free of spills, leaks, or any other potential pollutants?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
14	Are portable toilets, material storage areas, and materials that are potential stormwater contaminants managed appropriately?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
15	Are stabilized entrances installed and are adjacent roads clear of sediment?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Action Item <input type="checkbox"/> N/A
16	Other, based on site conditions:	<input type="checkbox"/> Yes <input type="checkbox"/> Action Item <input checked="" type="checkbox"/> N/A



Site Observations – Describe Issue, Location and Recommend Corrective Measures		
No.	Location and Recommended Corrective Measure	Completed/Initial*
2	<p>Issue: Silt fence is in poor condition by work in the surrounding areas or by strong winds (Figures 1, 3, 4, 5). It is allowing the stormwater to overrun or undermine the perimeter protection.</p> <p>Recommendation: Silt fence should be repaired or reinstalled as soon as possible to effectively protect the perimeter of the construction areas.</p>	<input type="checkbox"/>

*Following completion of corrective measure, check and initial

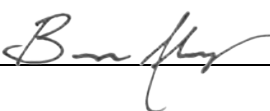
General Notes and Comments:

This inspection was performed as a routine and post-rain inspection. Cleaning up equipment and materials was taking place during the time of inspection. Since the last inspection, new silt fence has been installed along the southern perimeter. The silt fence was not properly buried and was allowing the stormwater to undermine the perimeter protection. Additionally, many areas of silt fence have been damaged by construction in the area or by strong winds. It is suggested the silt fence be restapled and secured between two wooden stakes to prevent the wind from further damaging it. Additionally, the wattles surrounding the culvert within the eastern construction area have been overrun with soil. It is suggested that the wattles protecting the culverts be reinforced or new, taller protection be used to prevent sediment from mobilizing within the culvert. Waste receptacles, a concrete washout bin, and portable toilets were observed on site and upright. Inlet protection baskets were in place along McLinden Rd and free of sediment and debris. Inlet protection baskets and grates should be installed within the new catch basins as soon as possible to prevent sediment from clogging the storm sewer system. The site’s stabilized entrances were in good condition. No tracking or debris was observed on McLinden Rd. JHA will continue to monitor the site and recommend any corrective actions be taken if necessary.

Certification Statement: (To address NPDES Permit NO. ILR10 requirements)

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”

Print Name & Title: Ben Alonzo QCIS, DECI – Project Manager

Signature: 

Date: 5/11/2021



Figure 1: Silt fence has blown off the stakes in the construction area east of McLinden Road; view to east.



Figure 2: Concrete washout bin is on stable ground and no leakages were observed; view to southwest.



Figure 3: Silt fence has blown off the stakes along the northern perimeter of the site; view to north.



Figure 4: Silt fence along the southwestern perimeter has been blown off the stakes and is allowing stormwater off-site; view to northwest.



Figure 5: Newly installed silt fence along the southern perimeter has not been installed properly and is allowing stormwater to undermine the silt fence; view to west.



Figure 6: The stabilized entrance is in good condition and no tracking was observed along McLinden Road; view to north.



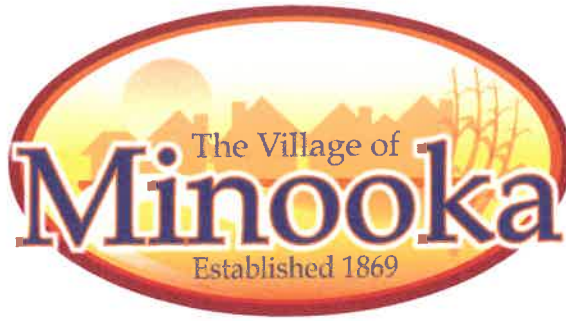
Figure 7: Storm drains are currently above grade. Grates and inlet protection baskets should be installed as soon as possible; view to northwest.



Figure 8: The storm drains are being dewatered through a filter bag along in the northeast corner of the site; view to northwest.

Village President
Patrick Brennan

Board of Trustees
Terry Houchens
Chad Hrechko
Dennis Martin
Ric Offerman
Dick Parrish
Barry Thompson



May 29, 2020

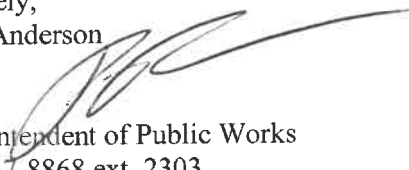
ComEd
700 West French Street
Streator, IL 61364

Attention: Mr. Steve Larsen
External Affairs Manager

RE: Soil erosion/ PIN# 04-10-06-300-006-0000 / A 150 FT STRIP OF LAND ACROSS THE SW1/4 & THE SE1/4 & THE NE1/4 OF SEC 6, T34N-R9E DAF: BEG AT A PT ON THE E LN OF THE NE1/4, 831.63 FT N OF THE SE COR OF THE NE1/4; THC N 174.06 FT; THC SW'LY TO A PT ON THE W LN OF THE SW1/4; ALSO BEING THE SW'LY COR OF RIVERS EDGE SUB UNIT 1 PER R93-095511; THC S ON SD W LN 174.66 FT; THC NE'LY TO THE E LN OF SD SEC 6 & THE POB. VILLAGE OF MINOOKA – **NOTICE OF EROSION**

As disused, there is a ComEd ROW crossing Rivers Edge Drive in Minooka. South of Rivers Edge Drive upstream of the detention pond is heavily eroded and getting to close proximity of the high voltage tower base. Please have the eroded location repaired and stabilized. I have attached pictures that were taken this past winter.

Sincerely,
Ryan Anderson


Superintendent of Public Works
815-467-8868 ext. 2303

Cc: Dan Duffy, Village Administrator / Steve Thornton, Village Building and Zoning Officer

#2 – Creek from behind 108 Rivers Edge Court across ComEd ROW to detention pond behind 523 Rivers Edge

Major Erosion for 375 feet. Depth 4' – 8'. Width 8' – 15'

Exposed clay pipe and broke. Filling in retention pond that the Village owns.

Owners: ComEd (190'), Judy Briscoe Family Trust 108 Rivers Edge Court (185')





Hazardous Materials Incident Report



Incident #: H-2020-0636

Entered By: Rompot, Jamie (IEMA) on 2020-07-25 00:44:01

Data Input Status: Closed

**Leaking Underground
Storage Tank (LUST): No**

Caller:	Ben Athens		
Call Back #:	770/639-7775		
Caller Represents:	ATC Environmental Services		
Hazmat Incident Type:	Leak or spill		

INCIDENT LOCATION

Incident Location:	Pilot Travel Center #236, 301 Ridge Rd		
County:	Grundy	City:	Minooka
Primary IEMA Region:	3	Secondary IEMA Region:	Not Applicable
Full Address:	Pilot Travel Center #236, 301 Ridge Rd, Minooka, IL		
Latitude:	N/A	Longitude:	N/A
Milepost:	N/A	Sec:	N/A
Twp.:	N/A	Range:	N/A
Area Involved:	Fixed Facility		
Media or medium into which the release occurred:	Ground		

WEATHER INFORMATION

Temp (deg F):	Unknown by caller	Wind Dir/Speed m.p.h:	Unknown by caller
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MATERIALS INVOLVED

Material Name:	Diesel Fuel	Material Type:	Liquid
CHRIS Code:	Unknown by caller	CAS #:	Unknown by caller
UN/NA #:	Unknown by caller		
Is this a 302(a) Extremely Hazardous Substance?	No		
Is this a RCRA Hazardous Waste?	No		
Is this a RCRA regulated facility?	No		
Container Type:	Fuel tank of a Semi	Container Size:	100 Gallon tank
Amount Released:	50 gallons	Rate of Release/min:	Unknown by caller
Duration of Release:	Unknown by caller		
Cause of Release:	Gas Pump handle fell out of tank while fueling		
Estimated Spill Extent:	Unknown by caller	Spill Extent Units:	

Date/Time Occured:	2020-07-24 23:50
Date/Time Discovered:	2020-07-24 23:50

Number Injured:	0	Where Taken:	N/A
Number Killed:	0	# Evacuated:	0
On Scene Contact:	Ben Athens	On Scene Phone #:	770/639-7775

Proper safety precautions to take as a result of the release, including evacuation:
the local fire department was called to scene to contain the release, believe to used granular absorpant and booms

Assistance needed from State Agencies:
None requested

Containment/Cleanup actions and plans:
Once a contractor is on sight, plans to be determined

Responsible Party:	Unknown by caller
Contact Person:	Unknown by caller
Callback Phone Number:	Unknown by caller
Facility Manager:	Varies due to multiple Manager on shift
Facility Manager Phone #:	815/467-4416
Street Address:	301 Ridge Rd
City:	Minooka State: IL Zip Code: 60447

Emergency Units Contacted	Contacted	On Scene	Agencies Contacted
ESDA			
Fire	√	√	Local fire department
Police			
Sheriff			
Other			

AGENCIES OR PERSONS NOTIFIED			
Agency	Date/Time	Name of Person	Notification Action
IEPA D/O	2020-07-25 01:00	Blaine Kinsley	Contacted
IEPS, NRTP, OSFM, Region 3, ISP, IDOT	2020-07-25 01:03	Emailed	Report Sent
Grundy County LEPC	2020-07-25 01:03	Emailed	Report Sent

Narrative:
I-80 Exit marker #122

Follow-Up Information:

Attachments:

Chapter 10

STREAM AND WETLAND PROTECTION

4-10-1: AUTHORITY:

The lowland conservancy overlay district is adopted by the board of trustees, pursuant to 65 Illinois Compiled Statutes 5/11-13-1. (Ord. 1996-1, 1-9-1996)

4-10-2: SHORT TITLE:

This chapter shall be known and may be cited as the MINOOKA LOWLAND CONSERVANCY OVERLAY DISTRICT ORDINANCE. (Ord. 1996-1, 1-9-1996)

4-10-3: PURPOSE AND INTENT:

It is the purpose and intent of this chapter to promote the health, safety and general welfare of the present and future residents of Minooka and downstream drainage areas by providing for the protection, preservation, proper maintenance, and use of Minooka watercourses, lakes, ponds, floodplain and wetland areas. This chapter is more specifically adopted:

- A. To prevent flood damage by preserving storm and flood water storage capacity;
- B. To maintain the normal hydrologic balance of streams, floodplains, ponds, lakes, wetlands, and ground water by storing and providing for infiltration of wet period runoff in floodplains and wetlands, and releasing it slowly to the stream to maintain in-stream flow;
- C. To manage stormwater runoff and maintain natural runoff conveyance systems, and minimize the need for major storm sewer construction and drainageway modification;
- D. To improve water quality, both by filtering and storing sediments and attached pollutants, nutrients, and organic compounds before they drain into streams or wetlands, and by

maintaining the natural pollutant assimilating capabilities of streams, floodplains and wetlands;

- E. To protect shorelines and stream banks from soil erosion, using natural means and materials wherever possible;
- F. To protect fish spawning, breeding, nursery and feeding grounds;
- G. To protect wildlife habitat;
- H. To preserve areas of special recreational, scenic, or scientific interest, including natural areas and habitats of endangered species;
- I. To maintain and enhance the aesthetic qualities of developing areas; and
- J. To encourage the continued economic growth and high quality of life of the Village which depends in part on an adequate quality of water, a pleasing natural environment, and recreational opportunities in proximity to the Village.

In order to achieve the purpose and intent of this Chapter, Village hereby designates the Lowland Conservancy Overlay District which shall be considered as an overlay to the zoning districts created by the Village zoning ordinances as amended. Any proposed development activity within the District must obtain a special use permit as approved by the governing body of the Village. (Ord. 1996-1, 1-9-1996)

4-10-4: DEFINITIONS:

ARMORING: A form of channel modification which involves the placement of materials (concrete, riprap, bulkheads, etc.) within a stream channel or along a shoreline to protect property above streams, lakes and ponds from erosion and wave damage caused by wave action and stream flow.

BULKHEAD: A retaining wall that protects property along water.

CHANNEL: A natural or artificial watercourse of perceptible extent that periodically or continuously contains moving water, or which forms a connecting link between two (2) bodies of water. It has a definite bed and banks that serve to contain the water.

CHANNEL MODIFICATION OR CHANNELIZATION: To alter a watercourse by changing the physical dimension or materials of the channel. Channel modification includes damming, riprapping (or other armoring), widening, deepening, straightening, relocating, lining and significant removal of bottom or woody vegetation. Channel modification does not include the clearing of debris or trash from the watercourse. Channelization is a severe form of channel modification involving a significant change in the channel cross-section and typically involving relocation of the existing channel (e.g., straightening).

CONTROL STRUCTURES: A structure designed to control the rate of stormwater runoff that passes through the structure, given a specific upstream and downstream water surface elevation.

CULVERT: A structure designed to carry drainage water or small streams below barriers such as roads, driveways, or railway embankments.

DEPRESSION 1 AREA: Any area which is lower in elevation on all sides than surrounding properties (i.e., does not drain freely), or whose drainage is severely limited such as by a restrictive culvert. A depression area will fill with water on occasion when runoff into it exceeds the rate of infiltration into underlying soil or exceeds the discharge through its controlled outlet. Large depression areas may provide significant stormwater or floodplain storage.

DEVELOPMENT: The carrying out of any building, agricultural, or mining operation, or the making of any change in the use or appearance of land, and the dividing of land into two (2) or more parcels. The following activities or uses shall be taken, for the purposes of this Chapter, to involve development as defined herein:

- A. Any construction, reconstruction, or alteration of a structure to occupy more or less ground area, or the on-site preparation for same;
- B. Any change in the intensity of use of land, such as an increase in the number of dwelling units on land, or a material increase in the site coverage of businesses, manufacturing establishments, offices, and dwelling units, including mobile homes, campers, and recreational vehicles, on land;
- C. Any agricultural use of land including, but not limited to, the use of land in horticulture, floriculture, forestry, dairy, livestock, poultry, beekeeping, pisciculture, and all forms of farm products and farm production;
- D. The commencement of drilling, except to obtain soil samples, or the commencement of mining, filling, excavation, dredging, grading or other alterations of the topography;
- E. Demolition of a structure or redevelopment of a site;
- F. Clearing of land as an adjunct of construction for agricultural, private residential, commercial or industrial use;

- G. Deposit of refuse, solid or liquid waste, or fill on a parcel of land, or the storage of materials;
- H. Construction, excavation, or fill operations relating to the creation or modification of any road, street, parking facility or any drainage canal, or to the installation of utilities or any other grading activity that alters the existing topography;
- I. Construction or erection of dams, levees, walls, fences, bridges or culverts; and
- J. Any other activity that might change the direction, height, or velocity of flood or surface waters.

DISTRICT: The Lowland Conservancy Overlay District as defined in Section [4-10-6-2](#) of this Chapter.

EROSION: The general process whereby soils are moved by flowing water or wave action.

FILTERED VIEW: The maintenance or establishment of woody vegetation of sufficient density to screen developments from a stream or wetland, to provide for streambank stabilization and erosion control, to serve as an aid to infiltration of surface runoff, and to provide cover to shade the water. The vegetation need not be so dense as to completely block the view. Filtered view means no clear cutting.

FLOODPLAIN: That land adjacent to a body of water with ground surface elevations at or below the 100-year frequency flood elevation.

FLOODWAY: That portion of the floodplain (sometimes referred to as the base floodplain or special flood hazard area) required to store and convey the base flood. The floodway is the 100-year floodway as designated and regulated by the Illinois Department of Transportation/Division of Water Resources. The remainder of the floodplain which is outside the regulatory floodway is referred to as the flood fringe or floodway fringe.

HYDRAULIC CHARACTERISTICS: The features of a watercourse which determine its water conveyance capacity. These features include but are not limited to: size and configuration of the cross-section of the watercourse and floodway; texture and roughness of materials along the watercourse; alignment of watercourse; gradient of watercourse; amount and type of vegetation within the watercourse; and size, configuration, and other characteristics of structures within the watercourse. In low-lying areas the characteristics of the overbank area also determine water conveyance capacity.

LAKE OR POND: Any inland waterbody, fed by spring or surface water flow.

LOT: An area of land, with defined boundaries, that is designated in official assessor's records as being one parcel.

NATURAL: In reference to watercourses, means those stream channels, grassed waterways and swales formed by the existing surface topography of the earth prior to changes made by unnatural causes. A natural stream tends to follow a meandering path; its floodplain is not constrained by levees; the area near the bank has not been cleared, mowed or cultivated; the stream flows over soil and geologic materials typical of the area with no alteration of the course or cross-section of the stream caused by filling or excavating.

ORDINARY HIGH WATER MARK (OHWM): The point on the bank or shore up to which the presence and action of surface water is so continuous so as to leave a distinctive mark such as by erosion, destruction or prevention of terrestrial vegetation, predominance of aquatic vegetation, or other easily recognized characteristics.

QUALIFIED PROFESSIONAL: A person trained in one or more of the disciplines of biology, geology, soil science, engineering, or hydrology whose training and experience ensure a competent analysis and assessment of stream, lake, pond and wetland conditions and impacts.

REGISTERED PROFESSIONAL ENGINEER: A professional engineer registered under the provisions of "The Illinois Professional Engineering Act" and any act amendatory thereof.

RETENTION/DETENTION FACILITY: A facility that provides for storage of storm water runoff and controlled release of this runoff during and after a flood or storm.

RUNOFF: The portion of precipitation on the land that is not absorbed by the soil or plant material and which runs off the land.

SEDIMENTATION: The processes that deposit soils, debris, and other materials either on other ground surfaces or in water bodies or watercourses.

SETBACK: The horizontal distance between any portion of a structure or any development activity and the ordinary high water mark of a perennial or intermittent stream, the ordinary high water mark of a lake or pond, or the edge of a wetland, measured from the structure's or development's closest point to the ordinary high water mark, or edge.

STREAM: A body of running water flowing continuously or intermittently in a channel on or below the surface of the ground; 7.5 minute topographic maps of the U.S. Geological Survey are one reference for identifying perennial and intermittent streams. For purposes of this Chapter, the term "stream" does not include storm sewers.

STRUCTURE: Anything that is constructed, erected or moved to or from any premises which is located above, on, or below the ground including, but not limited to roads, signs, billboards, and mobile homes. Temporary recreational facilities including, but not limited to, tents, camper trailers, and recreation vehicles are not considered structures when used less than one hundred eighty (180) days per year and located landward of the minimum setback provided as a natural vegetation strip.

VEGETATION: All plant growth, especially trees, shrubs, mosses, and grasses.

WATERCOURSE: Any river, stream, creek, brook, branch, natural or artificial depression, ponded area, slough, gulch, draw, ditch, channel, conduit, culvert, swale, grass waterway, gully, ravine, wash, or natural or man-made drainageway, which has a definite channel, bed and banks, in or into which stormwater runoff and floodwater flow either regularly or intermittently.

WETLAND: Those transitional lands between terrestrial and aquatic system where the water table is usually at or near the surface or the land is covered by shallow water. Classification of areas as wetlands shall follow the "Classification of Wetlands and Deepwater Habitats of the United States" as published by the U.S. Fish and Wildlife Service (FWS/OBS-79/31). (Ord.

1996-1, 1-9-1996)

4-10-5: SPECIAL USE PERMIT:

To ensure that proposed development activity can be carried out in a manner which is compatible and harmonious with the natural amenities of the Lowland Conservancy Overlay District and with surrounding land uses, a request for a special use permit for such development activity must be submitted for approval by the governing body of the Village.

No special use permit shall be issued unless the Village finds that:

- A. The development will not detrimentally affect or destroy natural features such as ponds, streams, wetlands, and forested areas, nor impair their natural functions, but will preserve and incorporate such features into the development's site;
- B. The location of natural features and the site's topography have been considered in the designing and siting of all physical improvements;
- C. Adequate assurances have been received that the clearing of the site of topsoil, trees, and other natural features will not occur before the commencement of building operations; only those areas approved for the placement of physical improvements may be cleared;
- D. The development will not reduce the natural retention storage capacity of any watercourse, nor increase the magnitude and volume of flooding at other locations; and that in addition, the development will not increase stream velocities; and
- E. The soil and subsoil conditions are suitable for excavation and site preparation, and the drainage is designed to prevent erosion and environmentally deleterious surface runoff.

There shall be no development, including the immediate or future clearing or removal of natural ground cover and/or trees, within the Lowland Conservancy Overlay District for any purpose, unless a special use permit is granted subject to the provisions of this Chapter or the provisions of the Village Zoning Ordinance¹.

Dumping, filling, mining, excavating, dredging, or transferring of any earth material within the district is prohibited unless a special use permit is granted.

No ponds or impoundments shall be created nor other alterations or improvements shall be allowed in the district for recreational uses, storm water management, flood control, agricultural uses or as scenic features unless a special use permit is granted. (Ord. 1996-1, 1-9-1996)

4-10-5-1: APPLICATION FOR PERMIT; FEE:

Application for a special use permit shall be made by the owner of the property, or his/her authorized agent, to the Village on a form furnished for that purpose. Each application shall bear the name(s) and address(es) of the owner or developer of the site and of any consulting firm retained by the applicant together with the name of the applicant's principal contact at such firm, and shall be accompanied by a filing fee of one hundred dollars (\$100.00). Each application shall include certification that any land clearing, construction, or development involving the movement of earth shall be in accordance with the plans approved upon issuance of the permit. (Ord. 1996-1, 1-9-1996)

4-10-5-2: SUBMISSIONS:

Each application for a special use permit shall be accompanied by the following information as specified in the sections cited:

	<u>Section</u>
General Provisions:	
Site Development Plan	4-10-6-4
Geologic and Soil Report	4-10-6-5
Drainage Control Plan	4-10-6-6
Site Grading and Excavation Plan	4-10-6-7
Landscape Plan	4-10-6-8
Justification for Watercourse Relocation and Minor Modifications:	
Stream Modification/Relocation Plan	4-10-7-2
Channel and Bank Armoring	4-10-7-3
Culverts	4-10-7-4
On-Stream Impoundments	4-10-7-5
Impact Assessment	4-10-8

(at option of the Village)

Where a proposed development activity is less than two and one-half ($2\frac{1}{2}$) acres in area the Village, upon approval of the Village Engineer, may waive or simplify any or all of the submission requirements (Sections [4-10-6-4](#) through [4-10-6-8](#)); provided, that the person responsible for any such development shall implement necessary protection measures to satisfy the purpose and intent set forth in Section [4-10-3](#) of this Chapter. (See Section [4-10-11-1](#), Variances.) (Ord. 1996-1, 1-9-1996)

4-10-5-3: BONDS:

The applicant may be required to file with the Village a faithful performance bond or bonds, letter of credit, or other improvement security satisfactory to the Village Attorney, in an amount deemed sufficient by the Village to cover all costs of improvements, landscaping, or maintenance of improvements and landscaping, for such period as specified by the Village, and engineering and inspection costs to cover the cost of failure or repair of improvements installed on the site. (Ord. 1996-1, 1-9-1996)

4-10-5-4: REVIEW AND APPROVAL:

Each application for a special use permit shall be reviewed and acted upon according to the following procedures:

- A. The Village Board will review each application for a special use permit to determine its conformance with the provisions of this Chapter. The Board may also refer any application to the Will County and/or Grundy County Soil and Water Conservation District and/or any other local government or public agency within whose jurisdiction the site is located for review and comments. Within thirty (30) days after receiving an application, the Village Board shall in writing: 1) approve the permit application, if it is found to be in conformance with the provisions of this Chapter and issue the permit; 2) approve the permit application subject to such reasonable conditions as may be necessary to secure substantially the objectives of this Chapter, and issue the permit subject to these conditions; or 3) disapprove the permit application, indicating the deficiencies and the procedure for submitting a revised application and/or submission.
- B. No special use permit shall be issued for an intended development site unless:
 1. The development, including but not limited to subdivisions and planned unit developments, has been approved by the Village where applicable; or

2. Such permit is accompanied by or combined with a valid building permit issued by the Village; or
 3. The proposed development is coordinated with any overall development program previously approved by the Village for the area in which the site is situated.
- C. Failure of the Village to act on an original or revised application within thirty (30) days of receipt shall authorize the applicant to proceed in accordance with the plans as filed, unless such time is extended by agreement between the Village and the applicant. Pending preparation and approval of a revised plan, development activities shall be allowed to proceed in accordance with conditions established by the Village. (Ord. 1996-1, 1-9-1996)

4-10-5-5: PERMIT EXCEPTIONS:

The provisions of this Chapter shall not apply to:

- A. Emergency work necessary to preserve life or property; when emergency work is performed under this Section, the person performing it shall report the pertinent facts relating to the work to the Village within ten (10) days after commencement of the work and shall thereafter obtain a special use permit and shall perform such work as may be determined by the agency to be reasonably necessary to correct any impairment to the watercourse, lake, pond, floodplain or wetland (in terms of the purposes of this Chapter, subsection [4-10-3A](#) through J);
- B. Work consisting of the operation, repair, or maintenance of any lawful use of land existing on the date of adoption of the Ordinance codified in this Chapter;
- C. Lands adjacent to farm ditches if:
 1. Such lands are not adjacent to a natural stream or river; or
 2. Those parts of such drainage ditches adjacent to such lands were not streams before ditching; or
 3. Such lands are maintained in agricultural uses without buildings and structures.

Where farm ditches are found to contribute to adverse environmental impacts or hazards to persons or property, the Village may include designated farm ditches in the District. The Village may also require that linings, bulkheads, dikes and culverts to be removed to mitigate hazards, or that other mitigative measures be taken, such as the maintenance of

a natural vegetation buffer strip. (Ord. 1996-1, 1-9-1996)

4-10-5-6: EFFECT ON OTHER PERMITS:

The granting of a special use permit under the provisions herein shall in no way affect the owner's responsibility to obtain the approval required by any other statute, ordinance, or regulation of any State agency or subdivision thereof, or to meet other Village ordinances and regulations. Where State and/or Federal permits are required, a special use permit will not be issued until they are obtained. (Ord. 1996-1, 1-9-1996)

4-10-6: GENERAL PROVISIONS; AREA AFFECTED:

This Chapter applies to development in or near streams, lakes, ponds and wetlands within the Village. Streams, lakes, and ponds (including intermittent streams) are those which are shown on the United States Department of the Interior Geological Survey (USGS) 7.5 minute quadrangle maps and those additional streams, lakes, and ponds delineated on maps adopted as part of this Chapter. Those maps are hereby made a part of this Chapter, and two (2) copies thereof shall remain on file in the office of the Village Clerk for public inspection. Within the jurisdiction of the Village, those waterbodies and watercourses that are named and are subject to the provisions of this Chapter are: (list of waterbodies and watercourses). Wetlands are those designated in the U.S. Fish and Wildlife Service/Illinois Department of Conservation wetland inventory and those additional wetlands delineated on maps adopted as part of this Chapter.

If new drainage courses, lakes, ponds or wetlands are created as part of a development, the requirements for setbacks and uses within setbacks, and the criteria for watercourse relocation and minor modification shall apply. The District shall be amended as appropriate to include these areas. (Ord. 1996-1, 1-9-1996)

4-10-6-1: LOWLAND CONSERVANCY OVERLAY DISTRICT:

The Lowland Conservancy Overlay District shall be considered as an overlay to the zoning districts created by the Village Zoning Ordinance as amended². In addition to the requirements of this Chapter, applicants for a special use permit within the District shall meet all requirements of the underlying zoning districts. In the event of a conflict between the overlay district requirements and the underlying zoning district requirements, the most restrictive requirements prevail. (Ord. 1996-1, 1-9-1996)

4-10-6-2: DISTRICT BOUNDARY:

The procedures, standards and requirements contained in this Chapter shall apply to all lots within wetlands and streams, and all lots lying wholly or in part:

- A. Within the special flood hazard area (SFHA) designated by the Federal Emergency Management Agency (FEMA); or
- B. Within one hundred feet (100') of the ordinary high water mark (OHWM) of a perennial stream or intermittent stream, the ordinary high water mark of a lake or pond, or the edge of a wetland; or
- C. Within depressional areas serving as floodplain or stormwater storage areas, as designated on the Lowland Conservancy District Map.

The District is designated on a map labeled "Lowland Conservancy Overlay District Map", which is made to be part of this Chapter and which has the same force and effect as if all the notations, references, and descriptions shown thereon were set forth or described herein. Designated areas are shown on said Map which shall be and remain on file in the office of the Village Clerk, and additional areas may be approved from time to time and be made exhibits hereto. (Ord. 1996-1, 1-9-1996)

4-10-6-3: MINIMUM SETBACK OF DEVELOPMENT ACTIVITY FROM STREAMS:

- A. Minimum Setback: Absolutely no development activity (except as provided below) may occur within the minimum setback which is defined as seventy five feet (75') from the ordinary high water mark of streams, lakes and ponds, or the edge of wetlands, or within a designated depressional area. In no case shall the setback be less than the boundary of the 100-year floodway as defined by FEMA. These setback requirements do not apply to a stream in a culvert unless the stream is taken out of the culvert as part of development activity. If a culvert functions as a low-flow culvert, where water is intended to periodically flow over it, the setback requirements apply.
- B. Development Activities: The following development activities may be permitted, subject to issuance of a special use permit, as set out in Section [5-10-9](#) of this Code, within the

minimum setback areas only if, as a practical matter, they cannot be located outside the setback area. Such development activities will only be approved based upon a report, prepared by a qualified professional, which demonstrates that they will not adversely affect water quality; destroy, damage or disrupt significant habitat area. adversely affect drainage and/or stormwater retention capabilities; adversely affect flood conveyance and storage; lead to unstable earth conditions, create erosion hazards, or be materially detrimental to any other property in the area of the subject property or to the Village as a whole, including the loss of open space or scenic vistas:

1. Minor improvements such as walkways, benches, comfort stations, informational displays, directional signs, foot bridges, observation decks, and docks;
2. The maintenance, repair, replacement, and reconstruction of existing highways and bridges, electrical transmission and telecommunication lines, poles, and towers; and
3. The establishment and development of public and private parks and recreation areas, outdoor education areas, historic natural and scientific areas, game refuges, fish and wildlife improvement projects, game bird and animal farms, wildlife preserves and public boat launching ramps.

C. Considerations: Review of the proposed development activity within the minimum setback area will consider the following:

1. Only limited filling and excavating necessary for the development of public boat launching ramps, swimming beaches, or the development of park shelters or similar structures is allowed. The development and maintenance of roads, parking lots and other impervious surfaces necessary for permitted uses are allowed only on a very limited basis, and where no alternate location outside of the setback area is available.
2. Land surface modification within the minimum setback shall be permitted for the development of stormwater drainage swales between the developed area of the site (including a stormwater detention facility on the site) and a stream, lake or pond, or wetlands detention basins within the setback are generally discouraged, unless it can be shown that resultant modifications will not impair water quality, habitat, or flood storage functions.
3. No filling or excavating within wetlands is permitted except to install piers for the limited development of walkways and observation decks. Walkways and observation decks should avoid high quality wetland areas, and should not adversely affect natural areas designated in the Illinois Natural Areas Inventory or the habitat of rare or endangered species.
4. Wetland area occupied by the development of decks and walkways must be mitigated by an equal area of wetland habitat improvement.
5. Modification of degraded wetlands for purposes of stormwater management is permitted where the quality of the wetland is improved and total wetland acreage is preserved. Where such modification is permitted, wetlands shall be protected from the effects of increased stormwater runoff by measures such as detention or sedimentation basins, vegetated swales and buffer strips, and sediment and erosion control measures on

adjacent developments. The direct entry of storm sewers into wetlands shall be avoided. Environmental impact analysis of wetland modification may be required in accordance with Section [4-10-8](#) of this Chapter.

D. Applicants For Special Use Permit:

1. An applicant for a special use permit must stabilize areas left exposed after land surface modification with vegetation normally associated with that stream or wetland. The planting of native riparian vegetation is recommended as the preferred stabilization measure. Other techniques should be used only when and where vegetation fails to control erosion. The preferred alternative is riprap, using natural rock materials where practicable, installed on eroding bank areas in a manner that provides interstitial space for vegetative growth and habitat for macroinvertebrates and other stream organisms. Lining of the stream channel bottom is not permitted.
2. The applicant shall minimize access to the applicant's proposed development activity within all or part of the Lowland Conservancy Overlay District where such access could adversely affect the stream, lake, pond, wetland, or related environmentally sensitive areas. (Ord. 1996-1, 1-9-1996)

4-10-6-4: SITE DEVELOPMENT PLAN:

A site development plan must be prepared for any proposed development within, or partly within, the Lowland Conservancy Overlay District and must indicate:

- A. Dimension and area of parcel, showing also the vicinity of the site in sufficient detail to enable easy location, in the field, of the site for which the special use permit is sought, and including the boundary line, underlying zoning, a legend, a scale, and a north arrow (this requirement may be satisfied by the submission of a separate vicinity map);
- B. Location of any existing and proposed structures;
- C. Location of existing or proposed on-site sewage systems or private water supply systems;
- D. Location of any perennial or intermittent stream, lake or pond, and its ordinary high water mark;

- E. Location and landward limit of all wetlands;
- F. Location of setback lines as defined in this Chapter;
- G. Location of the 100-year floodway;
- H. Location of existing or future access roads;
- I. Specifications and dimensions of stream, wetland or other water areas proposed for alterations;
- J. Cross-sections and calculations indicating any changes in flood storage volumes; and
- K. Such other information as reasonably requested by the Village.

The applicant shall present evidence, prepared by a qualified professional, that demonstrates that the proposed development activity will not endanger health and safety, including danger from the obstruction or diversion of flood flow. The developer shall also show, by submitting appropriate calculations and resource inventories, that the proposed development activity will not substantially reduce natural floodwater storage capacity, destroy valuable habitat for aquatic or other flora and fauna, adversely affect water quality or ground water resources, increase stormwater runoff velocity so that water levels on other lands are substantially raised or the danger from flooding increased, or adversely impact any other natural stream, floodplain, or wetland functions, and is otherwise consistent with the intent of this Chapter. (Ord. 1996-1, 1-9-1996)

4-10-6-5: GEOLOGIC AND SOIL CHARACTERISTICS; REPORT:

The site proposed for development shall be investigated to determine the soil and geologic characteristics, including soil erosion potential. A report, prepared by a licensed professional engineer, geoscientist, or soil scientist experienced in the practice of geologic and soil mechanics, shall be submitted with every application for land development within the Lowland Conservancy Overlay District. This report shall include a description of soil type and stability of surface and subsurface conditions. Any area which the investigation indicates as being subject

to geologic or soil hazards shall not be subjected to development, unless the engineer or soil scientist can demonstrate conclusively that these hazards can be overcome. (Ord. 1996-1, 1-9-1996)

4-10-6-6: HYDROLOGIC CONTROLS/DRAINAGE CONTROL PLAN:

A drainage control plan that describes the hydraulic characteristics of on-site and nearby watercourses as well as the proposed drainage plan, prepared by a registered professional engineer experienced in hydrology and hydraulics, shall be submitted with each application for land development within the Lowland Conservancy Overlay District. Unless otherwise noted, the following restrictions, requirements and standards shall apply to all development within the Lowland Conservancy Overlay District:

- A. Natural open-channel drainageways shall be preserved; and

- B. Runoff from areas of concentrated impervious cover (e.g., roofs, driveways, streets, patios, etc.) shall be collected and transported to a drainageway (preferably a natural drainageway) with sufficient capacity to accept the discharge without undue erosion or detrimental impact. Vegetated drainage swales are preferred over conveyances constructed of concrete or other manufactured materials.

The drainage control plan shall identify appropriate measures, such as recharge basins and detention/retention basins, which will limit the quantitative and qualitative effects of stormwater runoff to pre-development conditions. (Ord. 1996-1, 1-9-1996)

4-10-6-7: SITE GRADING AND EXCAVATION PLAN:

Section [4-10-6-7](#) applies to the extent that grading and excavation and erosion control plans, which satisfy the following requirements, are not already required by a jurisdiction.

- A. Application; Contents Of Plan: A site grading and excavation plan, prepared by a registered professional engineer, trained and experienced in civil engineering, shall be submitted with each application for a special use permit and shall include the following:
 - 1. Details of the existing terrain and drainage pattern with one foot (1') contours;

2. Proposed site contours at one foot (1') intervals;
 3. Dimensions, elevation and contours of grading, excavation and fill;
 4. A description of methods to be employed in disposing of soil and other materials that is removed from allowable grading and excavation sites, including location of the disposal site if on the property;
 5. A schedule showing when each stage of the project will be completed, including the total area of soil surface to be disturbed during each stage, and estimated starting and completion dates. The schedule shall be prepared so as to limit, to the shortest possible period, the time soil is exposed and unprotected. In no case shall the existing natural vegetation be destroyed, removed or disturbed more than fifteen (15) days prior to initiation of the improvements; and
 6. A detailed description of the revegetation and stabilization methods to be employed, to be prepared in conjunction with the landscape plan per Section [4-10-6-8](#). This description should include locations of erosion control measures such as sedimentation basins, straw bales, diversion swales, etc.
- B. Compliance With Chapter: The grading and excavation plan must be consistent with all the provisions of this Chapter.
- C. Restrictions And Requirements: Unless otherwise provided in this Chapter, the following restrictions, requirements and standards shall apply to all development within the District:
1. Every effort shall be made to develop the site in such a manner so as to minimize the alteration of the natural topography;
 2. No grading, filling, cleaning, clearing, terracing or excavation of any kind shall be initiated until final engineering plans are approved and the special use permit is granted by the Village; and
 3. The depositing of any excavation, grading or clearing material within a stream, lake, pond or wetland area (i.e., within the District) shall be prohibited.
- D. Installation Of Physical Barrier: In addition to locating all site improvements on the subject property to minimize adverse impacts on the stream, lake, pond, or wetland, the applicant shall install a berm, curb, or other physical barrier during construction, and following completion of the project, where necessary, to prevent direct runoff and erosion from any modified land surface into a stream, lake, pond, or wetland. All parking and vehicle circulation areas should be located as far as possible from a stream, lake, pond or wetland.
- E. Limit Activity: The Village may limit development activity in or near a stream, lake, pond, or

wetland to specific months, and to a maximum number of continuous days or hours, in order to minimize adverse impacts. Also, the Village may require that equipment be operated from only one side of a stream, lake, or pond in order to minimize bank disruption. Other development techniques, conditions, and restrictions may be required in order to minimize adverse impacts on streams, lakes, ponds or wetlands, and on any related areas not subject to development activity. (Ord. 1996-1, 1-9-1996)

4-10-6-8: NATURAL VEGETATION BUFFER STRIP REQUIRED:

To minimize erosion, stabilize the stream bank, protect water quality, maintain water temperature at natural levels, preserve fish and wildlife habitat, to screen manmade structures, and also to preserve aesthetic values of the natural watercourse and wetland areas, a natural vegetation strip shall be maintained along the edge of the stream, lake, pond or wetland. The natural vegetation strip shall extend landward a minimum of twenty five feet (25') from the ordinary high water mark of a perennial or intermittent stream, lake or pond and the edge of a wetland.

Within the natural vegetation strip, trees and shrubs may be selectively pruned or removed for harvest of merchantable timber, to achieve a filtered view of the water body from the principal structure and for reasonable private access to the stream, lake, pond or wetland. Said pruning and removal activities shall ensure that a live root system stays intact to provide for stream bank stabilization and erosion control.

A landscape plan, prepared by a professional landscape architect, shall be submitted with each special use permit application for development activity within the lowland conservancy overlay district and contain the following:

- A. A plan describing the existing vegetative cover of the property and showing those areas where the vegetation will be removed as part of the proposed construction; and
- B. A plan describing the proposed revegetation of disturbed areas specifying the materials to be used.

The vegetation must be planned in such a way that access for stream maintenance purposes shall not be prevented. (Ord. 1996-1, 1-9-1996)

4-10-6-9: MITIGATION OF DIRECT IMPACTS:

Direct impacts to jurisdictional waters of the United States, including jurisdictional wetland, shall be mitigated at a minimum replacement ratio of 1.5:1 (replacement area:impact area).

Mitigation for the impacts shall meet or exceed the quality of the area impacted based on a floristic evaluation of the impacted area. Mitigation areas shall be managed and monitored for a period of five (5) years following seeding of the mitigation area(s). The development of the mitigation area and its management and monitoring program shall be described in a written document submitted as part of the special use permit application. The document shall be based on the most current guidelines for mitigation available from the Chicago district of the corps of engineers. (Ord. 2007-08, 1-23-2007)

4-10-7: WATERCOURSE RELOCATION AND MINOR MODIFICATIONS:

Watercourse relocation or modification is generally not permitted because these activities are not usually consistent with the purposes of this chapter. Under certain circumstances, relocation and minor modification may be permitted through a special use permit where certain problems can be mitigated by relocation and/or minor modification, specifically when:

- A. Off site hydrologic conditions are causing erosion, flooding and related problems; or
- B. On site soil and geologic conditions are resulting in unstable conditions that pose hazards to life, health, and existing structures or property; or
- C. The quality of previously modified or relocated streams can be improved through restoration; or
- D. Officially adopted storm water management plans call for placement of detention or retention facilities in a stream; or
- E. Public utilities, including sanitary sewers, pipelines, and roadways require stream crossing or relocation where there are not practical alternatives.

Modification of watercourses as a convenience for site design purposes is not permitted. (Ord. 1996-1, 1-9-1996)

4-10-7-1: PERMITTING STREAM MODIFICATION:

Stream modification, when permitted, is subject to the following conditions and restrictions:

- A. Water quality, habitat and other natural functions must be significantly improved by the modification; no significant habitat area may be destroyed;
- B. The amount of flow and velocity of a stream is not to be increased or decreased as the stream enters or leaves a subject property, unless this reflects an improvement over previous conditions in terms of reduced flooding, reduced erosion, or enhanced low flow conditions;
- C. Prior to diverting water into a new channel, a qualified professional approved by the village shall inspect the stream modification, and issue a written report to the village that the modified stream complies with the requirements of section [4-10-7-2](#) of this chapter; and
- D. Stream channel enlargement, or other modifications that would increase conveyance, shall not be permitted if the intended purpose is to accommodate development activities in the floodplain. (Ord. 1996-1, 1-9-1996)

4-10-7-2: CONTENT OF STREAM MODIFICATION/RELOCATION PLAN:

Stream relocation may be permitted in accordance with a stream relocation plan which provides for:

- A. The creation of a natural meander pattern, pools, riffles, substrate;
- B. The formation of gentle side slopes (at least 3 feet horizontally per 1 foot vertically), including installation of erosion control features;
- C. The utilization of natural materials wherever possible;
- D. The planting of vegetation normally associated with streams, including primarily native riparian vegetation;

- E. The creation of spawning and nesting areas wherever appropriate;
- F. The reestablishment of the fish population wherever appropriate;
- G. The restoration of water flow characteristics compatible with fish habitat areas, wherever appropriate;
- H. The filling and revegetation of the prior channel;
- I. A proposed phasing plan, specifying time of year for all project phases;
- J. Plans for sediment and erosion control; and
- K. Establishment of a low-flow channel which reflects the conditions of a natural stream. (Ord. 1996-1, 1-9-1996)

4-10-7-3: ARMORING OF CHANNELS AND BANKS:

Armoring in the form of bulkheads, riprap or other materials or devices is not permitted except in accordance with the following:

- A. Significant erosion cannot be prevented in any other way and the use of vegetation and gradual bank slopes has not sufficiently stabilized the shoreline or bank;
- B. The bulkhead or other device is not placed within a wetland, or between a wetland and a lake or pond;
- C. The bulkhead, riprap or other device will minimize the transmittal of wave energy or currents to other properties; and

- D. The exchange in the horizontal or vertical configuration of the land must be kept to a minimum.

Where permission to install bulkheads or other armoring devices is requested as part of the special use permit application, documentation and certification pertaining to the items above must be submitted. (Ord. 1996-1, 1-9-1996)

4-10-7-4: USE OF CULVERTS:

Culverts are not permitted in streams except in accordance with the following:

- A. Where a culvert is necessary for creating access to a property; use of culverts as a convenience, in order to facilitate general site design, is not to be considered.
- B. The culvert must allow passage of fish inhabiting the stream, and accommodate the 100-year flood event without increasing upstream flooding, except where a restricting culvert is desirable as part of an overall storm and floodwater management plan;
- C. The culvert must be maintained free of debris and sediment to allow free passage of water, and if applicable, fish; and
- D. The stream bottom should not be significantly widened for the placement of a culvert as this increases siltation; if multiple culverts must be installed, one culvert should be at the level of the bottom of the stream and the others at or above normal water elevation. (Ord. 1996-1, 1-9-1996)

4-10-7-5: ON-STREAM IMPOUNDMENTS:

Impoundment of streams is not permitted except in accordance with the following:

- A. The impoundment is determined to be in the public interest by providing regional stormwater

detention, flood control, or public recreation;

- B. The impoundment will not prevent the upstream migration of indigenous fish species;
- C. A nonpoint source control plan has been implemented in the upstream watershed to control the effects of sediment runoff as well as minimize the input of nutrients, oil and grease, metals, and other pollutants;
- D. Impoundments without permanent low-flow pools are preferred except where a permanent pool is necessary to achieve the intended benefits of the impoundment (e.g., recreation or water quality mitigation); and
- E. Impoundment design shall include gradual bank slopes, appropriate bank stabilization measures, and a pre-sedimentation basin. (Ord. 1996-1, 1-9-1996)

4-10-8: IMPACT ASSESSMENT:

The Village may ask an applicant to submit a report prepared by a qualified professional, and approved by the Village, in order to assess the potential impact of proposed development on a lake, stream or wetland and associated environmentally sensitive areas, including loss of flood storage potential, loss of habitat, changes in species diversity and quantity, impacts on water quality, increases in human intrusion, and impacts on associated streams, lakes, ponds, wetlands or downstream areas. (Ord. 1996-1, 1-9-1996)

4-10-9: STREAM MAINTENANCE EASEMENT:

The applicant shall grant an access easement for stream maintenance purposes to the Village over twenty five feet (25') parallel to the stream bank. (Ord. 1996-1, 1-9-1996)

4-10-10: NONCONFORMING USES:

See [Title 5, Chapter 10](#) of the Village Code. (Ord. 1996-1, 1-9-1996)

4-10-11: BOARD OF APPEALS:

See [Title 2, Chapter 1](#) of the Village Code. (Ord. 1996-1, 1-9-1996)

4-10-11-1: VARIANCES:

See Section [5-11-6](#) of the Village Code. (Ord. 1996-1, 1-9-1996)

4-10-11-2: APPEALS:

See Section [5-11-7](#) of the Village Code. (Ord. 1996-1, 1-9-1996)

4-10-12: BONDS:

The Village may require the posting of a bond or surety to ensure compliance with any aspect of this Chapter. (Ord. 1996-1, 1-9-1996)

4-10-13: LIABILITY:

Prior to issuance of a construction permit, the applicant shall enter into an agreement with the Village which runs with the property, in a form acceptable to the Village Attorney, indemnifying the Village for any damage resulting from development activity on the subject property which is related to the physical condition of the stream or wetland. (Ord. 1996-1, 1-9-1996)

4-10-14: SEPARABILITY:

Every section, provision, or part of this Chapter is declared separable from every other section, provision, or part; and if any section, provision, or part thereof shall be held invalid, it shall not affect any other section, provision, or part. (Ord. 1996-1, 1-9-1996)

4-10-15: RETROACTIVITY:

The requirements of this Chapter apply to all platted and unplatted lands within the jurisdiction of the Village. (Ord. 1996-1, 1-9-1996)

4-10-16: ENFORCEMENT:

Authority for administration of this Chapter resides with the Village Board. Appeals regarding decisions of the Village Board in granting special permits shall be made according to the provisions of Section [4-10-11-2](#). (Ord. 1996-1, 1-9-1996)

4-10-16-1: STOP-WORK ORDER; REVOCATION OF PERMIT:

In the event any person holding a special use permit pursuant to this Chapter violates the terms of the permit, or carries on-site development in such a manner so as to materially and adversely affect the health, welfare, or safety of persons residing or working in the neighborhood of the development site, or so as to be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood, the Village may suspend or revoke the special use permit.

- A. Suspension of a permit shall be by a written stop-work order issued by the Village and delivered to the permittee or his agent or the person performing the work. The stop-work order shall be effective immediately, shall state the specific violations cited, and shall state the conditions under which work may be resumed. A stop-work order shall remain in effect until the next regularly scheduled meeting of the Village Board, at which the conditions of subsection B below can be met.
- B. No special use permit shall be permanently suspended or revoked until a hearing is held by the Village Board. Written notice of such hearing shall be served on the permittee, either personally or by registered mail, and shall state:
1. The grounds for complaint or reasons for suspension or revocation, in clear and concise language; and
 2. The time when and place where such hearing will be held.
Such notice shall be served on the permittee at least five (5) days prior to the date set for the hearing. At such hearing, the permittee shall be given an opportunity to be heard and may call witnesses and present evidence on his/her behalf. At the conclusion of the hearing the Village Board shall determine whether the permit shall be suspended or

revoked. (Ord. 1996-1, 1-9-1996)

4-10-16-2: VIOLATIONS AND PENALTIES:

No person shall undertake or continue any development activity contrary to or in violation of any terms of this Chapter. Any person violating any of the provisions of this Chapter shall be deemed guilty of a misdemeanor, and each day during which any violation of any of the provisions of this Chapter is committed, continued, or permitted shall constitute a separate offense. Upon conviction of any such violation, such person, partnership, or corporation shall be punished by a fine as provided in Section [1-4-1](#) of this Code for each offense. In addition to any other penalty authorized by this Section, any person, partnership, or corporation convicted of violating any of the provisions of this Chapter shall be required to restore the site to the condition existing prior to commission of the violation, or to bear the expense of such restoration. (Ord. 1996-1, 1-9-1996)

Chapter 7

FLOOD HAZARD AREAS

4-7-1: PURPOSE:

This Chapter is enacted pursuant to the police powers granted to this Village by 65 Illinois Compiled Statutes 5/1-2-1, 5/11-12-12, 5/11-12-12m, 5/11-30-8 and 5/11-31-2. The purpose of this Chapter is to maintain this Village's eligibility in the National Flood Insurance Program; to minimize potential losses due to periodic flooding including loss of life, loss of property, health and safety hazards, disruption of commerce and governmental services, extraordinary public expenditures for flood protection and relief, and impairment of the tax base, all of which adversely affect the public health, safety and general welfare; and to preserve and enhance the quality of surface waters, conserve economic and natural values and provide for the wise utilization of water and related land resources. This Chapter is adopted in order to accomplish the following specific purposes:

- A. To meet the requirements of 615 Illinois Compiled Statutes 5/18(g), "An Act in Relation to the Regulation of the Rivers, Lakes and Streams of the State of Illinois", approved June 10, 1911, as amended.
- B. To assure that new development does not increase the flood or drainage hazards to others, or create unstable conditions susceptible to erosion;
- C. To protect new buildings and major improvements to buildings from flood damage;
- D. To protect human life and health from the hazards of flooding;
- E. To lessen the burden on the taxpayer for flood control projects, repairs to flood-damaged public facilities and utilities, and flood rescue and relief operations; and
- F. To make federally subsidized flood insurance available for property in the Village by fulfilling the requirements of the National Flood Insurance Program.

- G. To comply with the rules and regulations of the National Flood Insurance Program codified as 44 CFR 59-79, as amended.
- H. To protect, conserve and promote the orderly development of land and water resources;
- I. To preserve the natural hydrologic and hydraulic functions of watercourses and flood plains and to protect water quality and aquatic habitats;
- J. To preserve the natural characteristics of stream corridors in order to moderate flood and storm water impacts, improve water quality, reduce soil erosion, protect aquatic and riparian habitat, provide recreational opportunities, provide aesthetic benefits and enhance community and economic development. (Ord. 1995-28, 8-8-1995)

4-7-2: DEFINITIONS:

For the purposes of this Chapter, the following definitions are adopted:

ACT: "An Act in Relation to the Regulation of the Rivers, Lakes and Streams of the State of Illinois", 615 Illinois Compiled Statutes 5/5 et seq.

APPLICANT: Any person, firm, corporation or agency which submits an application.

APPROPRIATE USE: Only uses of the regulatory floodway that are permissible and will be considered for permit issuance. The only uses that will be allowed are as specified in subsection [4-7-7B](#) of this Chapter.

BASE FLOOD: The flood having a one percent (1%) probability of being equaled or exceeded in any given year. The base flood is also known as the 100-year frequency flood event. Application of the base flood elevation at any location is as defined in Section [4-7-5](#) of this Chapter.

BUILDING: A structure that is principally above ground and is enclosed by walls and a roof. The term includes a gas or liquid storage tank, a manufactured home, mobile home or prefabricated building. This term also includes recreational vehicles and travel trailers to be installed on a site for more than one hundred eighty (180) days.

CHANNEL: Any river, stream, creek, brook, branch, natural or artificial depression, ponded area, flowage, slough, ditch, conduit, culvert, gully, ravine, wash or natural or manmade drainageway, which has a definite bed and banks or shoreline, in or into which surface or ground water flows, either perennially or intermittently.

CHANNEL MODIFICATION: Alteration of a channel by changing the physical dimensions or materials of its bed or banks. Channel modification includes damming, rip-rapping or other armoring, widening, deepening, straightening, relocating, lining and significant removal of bottom or woody vegetation. Channel modification does not include the clearing of dead or dying vegetation, debris or trash from the channel. Channelization is a severe form of channel modification typically involving relocation of the existing channel (e.g., straightening).

COMPENSATORY STORAGE: An artificially excavated hydraulically equivalent volume of storage within the SFHA used to balance the loss of natural flood storage capacity when artificial fill or structures are placed within the flood plain. The uncompensated loss of natural flood plain storage can increase off-site flood water elevations and flows.

CONDITIONAL APPROVAL OF A REGULATORY FLOODWAY MAP CHANGE:
Preconstruction approval by DNR and the Federal Emergency Management Agency of a proposed change to the Floodway Map. This preconstruction approval, pursuant to this Chapter, gives assurances to the property owner that once an appropriate use is constructed according to permitted plans, the Floodway Map can be changed, as previously agreed, upon review and acceptance of as-built plans.

CONDITIONAL LETTER OF MAP REVISION (CLOMR): A letter which indicates that the Federal Emergency Management Agency will revise base flood elevations, flood insurance rate zones, flood boundaries or floodway as shown on an effective Flood Hazard Boundary Map or Flood Insurance Rate Map, once the as-built plans are submitted and approved.

CONTROL STRUCTURE: A structure designed to control the rate of flow that passes through the structure, given a specific upstream and downstream water surface elevation.

DNR: Illinois Department of Natural Resources, Office of Water Resources.

DAM: All obstructions, wall embankments or barriers, together with their abutments and appurtenant works, if any, constructed for the purpose of storing or diverting water or creating a pool. Underground water storage tanks are not included.

DEVELOPMENT: Any manmade change to real estate, including:

- A. Construction, reconstruction, repair or placement of a building or any addition to any building.
- B. Installing a manufactured home on a site, preparing a site for a manufactured home or installing a travel trailer on a site for more than one hundred eighty (180) days.
- C. Drilling, mining, installing utilities, construction of roads, bridges or similar projects.

- D. Demolition of a structure or redevelopment of a site.
- E. Clearing of land as an adjunct of construction.
- F. Construction or erection of levees, walls, fences, dams or culverts; channel modification; filling, dredging, grading, excavating, paving or other nonagricultural alterations of the ground surface; storage of materials; deposit of solid or liquid waste.
- G. Any other activity of a man that might change the direction, height or velocity of flood or surface water, including extensive vegetation removal.

Development does not include maintenance of existing buildings and facilities such as reroofing or resurfacing of roads when there is no increase in elevation, or gardening, plowing and similar agricultural practices that do not involve filling, grading or construction of levees.

ELEVATION CERTIFICATES: A form published by the federal emergency management agency that is used to certify the elevation to which a building has been elevated.

EROSION: The general process whereby soils are moved by flowing water or wave action.

EXEMPT ORGANIZATIONS: Organizations which are exempt from this chapter per the Illinois Compiled Statutes including state, federal or local units of government.

FEMA: Federal emergency management agency and its regulations at 44 CFR 59-79 effective as of October 1, 1986. This incorporation does not include any later editions or amendments.

FLOOD: A general and temporary condition of partial or complete inundation of normally dry land areas from overflow of inland or tidal waves, or the unusual and rapid accumulation or runoff of surface waters from any source.

FLOOD FREQUENCY: A period of years, based on a statistical analysis, during which a flood of a stated magnitude may be expected to be equaled or exceeded.

FLOOD FRINGE: That portion of the floodplain outside of the regulatory floodway.

FLOOD INSURANCE RATE MAPS (FIRM): A map prepared by the federal emergency management agency that depicts the special flood hazard areas (SFHAs) within a community. This map includes insurance rate zones and floodplains and may or may not depict floodways.

FLOOD PROTECTION ELEVATION (FPE): The elevation of the base flood or 100-year frequency flood plus one foot (1') of freeboard at any given location in the SFHA.

FLOODPLAIN: That land typically adjacent to a body of water with ground surface elevations at

or below the base flood or the 100-year frequency flood elevation. Floodplains may also include detached special flood hazard areas, ponding areas, etc. The floodplain is also known as the special flood hazard area (SFHA). The floodplains are those lands within the jurisdiction of the village that are subject to inundation by the base flood or 100-year frequency flood. The SFHAs of the village are generally identified as such on the flood insurance rate map of the village prepared by the federal emergency management agency and dated September 6, 1995, and such other amendments or revisions to such study and maps as may be prepared from time to time. The SFHAs of those parts of unincorporated Will County that are within the extraterritorial jurisdiction of the village or that may be annexed into the village are generally identified as such on the flood boundary and floodway map prepared for Will County by the federal emergency management agency and dated September 6, 1995, and such other amendments or revisions to such study and maps as may be prepared from time to time. The SFHAs of those parts of unincorporated Grundy County that are within extraterritorial jurisdiction of the village or that may be annexed to the village are generally identified as such on the flood insurance rate map prepared for Grundy County by the federal emergency management agency and dated August 2, 2012, and such other amendments or revisions to such study and maps as may be prepared from time to time. The SFHAs of those parts of unincorporated Kendall County that are within extraterritorial jurisdiction of the village or that may be annexed to the village are generally identified as such on the flood insurance rate map prepared for Kendall County by the federal emergency management agency and dated January 8, 2014, and such other amendments or revisions to such study and maps as may be prepared from time to time.

FLOODPROOFING: Any combination of structural and nonstructural additions, changes or adjustments to structures which reduce or eliminate flood damage to real estate or improved real property, water and sanitary facilities, structures and their contents.

FLOODPROOFING CERTIFICATE: A form published by the federal emergency management agency that is used to certify that a building has been designed and constructed to be structurally dry floodproofed to the flood protection elevation.

FREEBOARD: An increment of elevation added to the base flood elevation to provide a factor of safety for uncertainties in calculations, unknown localized conditions, wave actions and unpredictable effects such as those caused by ice or debris jams.

HYDROLOGIC AND HYDRAULIC CALCULATIONS: Engineering analyses which determine expected flood flows and flood elevations based on land characteristics and rainfall events.

LETTER OF MAP AMENDMENT (LOMA): Official determination by FEMA that a specific structure is not in a 100-year flood zone, amends the effective flood hazard boundary map or FIRM.

LETTER OF MAP REVISION (LOMR): Letter that revises base flood or 100-year frequency flood elevations, flood insurance rate zones, flood boundaries or floodways as shown on an effective FHBM or FIRM.

MANUFACTURED HOME: A structure, transportable in one or more sections, which is built on a permanent chassis and is designated for use with or without a permanent foundation when connected to the required utilities. The term manufactured home also includes park trailers, travel trailers and other similar vehicles placed on site for more than one hundred eighty (180) consecutive days.

MANUFACTURED HOME PARK OR SUBDIVISION: A parcel (or contiguous parcels) of land divided into two (2) or more manufactured home lots for rent or sale.

MITIGATION: Includes those measures necessary to minimize the negative effects which floodplain development activities might have on the public health, safety and welfare. Examples of mitigation include compensatory storage, soil erosion and sedimentation control, and channel restoration.

NGVD: National geodetic vertical datum of 1929. Reference surface set by the national geodetic survey deduced from a continental adjustment of all existing adjustments in 1929.

NATURAL: When used in reference to channels means those channels formed by the existing surface topography of the earth prior to changes made by man. A natural stream tends to follow a meandering path; its floodplain is not constrained by levees; the area near the bank has not been cleared, mowed or cultivated; the stream flows over soil and geologic materials typical of the area with no substantial alteration of the course or cross section of the stream caused by filling or excavating. A modified channel may regain some natural characteristics over time as the channel meanders and vegetation is reestablished. Similarly, a modified channel may be restored to more natural conditions by man through regrading and revegetation.

ORDINARY HIGH WATER MARK (OHWM): The point on the bank or shore up to which the presence and action of surface water is so continuous so as to leave a distinctive mark such as by erosion, destruction or prevention of terrestrial vegetation, predominance of aquatic vegetation or other easily recognized characteristics.

PUBLIC FLOOD CONTROL PROJECT: A flood control project which will be operated and maintained by a public agency to reduce flood damages to existing buildings and structures which includes a hydrologic and hydraulic study of the existing and proposed conditions of the watershed. Nothing in this definition shall preclude the design, engineering, construction or financing, in whole or in part, of a flood control project by persons or parties who are not public agencies.

PUBLICLY NAVIGABLE WATERS: All streams and lakes capable of being navigated by watercraft.

REGISTERED LAND SURVEYOR: A land surveyor registered in the state of Illinois, under the Illinois land surveyors act¹.

REGISTERED PROFESSIONAL ENGINEER: An engineer registered in the state of Illinois, under the Illinois professional engineering act².

REGULATORY FLOODWAY: The channel, including on stream lakes, and that portion of the floodplain adjacent to a stream or watercourse as designated by DNR, which is needed to store and convey the existing and anticipated future of 100-year frequency flood discharge with no more than a one-tenth foot (0.1') increase in stage due to the loss of flood conveyance or storage, and no more than a ten percent (10%) increase in velocities. The regulatory floodways for those parts of unincorporated Kendall and Grundy Counties within the extraterritorial jurisdiction of the village that may be annexed to the village are designated for Aux Sable Creek on the flood insurance rate map prepared by FEMA, for Kendall County, and dated January 8,

2014, and for Grundy County, dated August 2, 2012, and such other amendments or revisions to such study and maps as may be prepared from time to time. The regulatory floodways for those parts of unincorporated Will County that are within the extraterritorial jurisdiction of the village that may be annexed to the village are designated for the DuPage River and the I and M Canal on the flood boundary and floodway map prepared by FEMA and dated September 6, 1995, and such other amendments or revisions to such study and maps as may be prepared from time to time. To locate the regulatory floodway boundary on any site, the regulatory floodway boundary should be scaled off the regulatory floodway map and located on a site plan, using reference marks common to both maps. Where interpretation is needed to determine the exact location of the regulatory floodway boundary, the office of water resources should be contacted for the interpretation.

REPAIR, REMODELING OR MAINTENANCE: Development activities which do not result in any increases in the outside dimensions of a building or any changes to the dimensions of a structure.

REPETITIVE LOSS: Flood related damages sustained by a structure on two (2) separate occasions during a ten (10) year period for which the cost of repairs at the time of each such flood event on the average equals or exceeds twenty five percent (25%) of the market value of the structure before the damage occurred.

RETENTION/DETENTION FACILITY: A retention facility stores stormwater runoff without a gravity release. A detention facility provides for storage of stormwater runoff and controlled release of this runoff during and after a flood or storm.

RIVERINE SFHA: Any SFHA subject to flooding from a river, creek, intermittent stream, ditch, on stream lake system or any other identified channel. This term does not include areas subject to flooding from lakes, ponding areas, areas of sheet flow or other areas not subject to overbank flooding.

RUNOFF: The water derived from melting snow or rain falling on the land surface, flowing over the surface of the ground or collected in channels or conduits.

SEDIMENTATION: The processes that deposit soils, debris and other materials either on other ground surfaces or in bodies of water or watercourses.

SPECIAL FLOOD HAZARD AREA (SFHA): Any base flood area subject to flooding from a river, creek, intermittent stream, ditch or any other identified channel or ponding and shown on a flood hazard boundary map or flood insurance rate map as zone A, AO, A1-30, AE, A99, AH, VO, V30, VE, V, M or E.

STRUCTURE: The results of a manmade change to the land constructed on or below the ground, including the construction, reconstruction or placement of a building or any addition to a building; installing a manufactured home on a site; preparing a site for a manufactured home or installing a travel trailer on a site for more than one hundred eighty (180) days.

SUBSTANTIAL DAMAGE: Damage of any origin sustained by a structure whereby the cumulative percentage of damage during a ten (10) year period equals or exceeds fifty percent (50%) of the market value of the structure before the damage occurred regardless of actual repair work performed. Volunteer labor and materials must be included in this determination.

This term includes "repetitive loss" buildings.

SUBSTANTIAL IMPROVEMENT: Any repair, reconstruction or improvement of a structure, the cost of which equals or exceeds fifty percent (50%) of the market value of the structure, either: a) before the improvement or repair is started, or b) if the structure has been damaged and is being restored, before the damage occurred. For the purposes of this definition "substantial improvement" is considered to occur when the first alteration of any wall, ceiling, floor or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure. The term does not, however, include either: a) any project for improvement of a structure to comply with existing state or local health, sanitary, or safety code specifications which are solely necessary to assure safe living conditions, or b) any alteration of a structure listed on the national register of historic places or a state inventory of historic places.

TRANSITION SECTION: Reaches of the stream or floodway where water flows from a narrow cross section to a wide cross section or vice versa. (Ord. 1995-28, 8-8-1995; amd. Ord. 1997-03, 1-28-1997; Ord. 2008-34, 12-17-2008; Ord. 2012-19, 7-24-2012; Ord. 2013-29, 11-26-2013)

4-7-3: HOW TO USE THIS CHAPTER:

The building officer and inspector shall be responsible for fulfilling all of the duties listed in section [4-7-4](#) of this chapter.

To fulfill those duties, the building officer and inspector first should use the criteria listed in section [4-7-5](#), "Base Flood Elevation", of this chapter to determine whether the development site is located within a floodplain. Once it has been determined that the site is located within a floodplain, the building officer and inspector must determine whether the development site is within a flood fringe, a regulatory floodway or within an SFHA or floodplain on which no floodway has been identified. If the site is within a flood fringe, the building officer and inspector shall require that the minimum requirements of section [4-7-6](#) of this chapter be met. If the site is within a floodway, the building officer and inspector shall require that the minimum requirements of section [4-7-7](#) of this chapter be met. If the site is located within an SFHA or floodplain for which no detailed study has been completed and approved, the building officer and inspector shall require that the minimum requirements of section [4-7-8](#) of this chapter be met.

In addition, the general requirements of section [4-7-9](#) of this chapter shall be met for all developments meeting the requirements of section [4-7-6](#), [4-7-7](#), or [4-7-8](#) of this chapter. The building officer and inspector shall assure that all subdivision proposals shall meet the requirements of section [4-7-10](#) of this chapter.

If a variance is to be granted for a proposal, the building officer and inspector shall review the requirements of section [4-7-11](#) of this chapter to make sure they are met. In addition, the building officer and inspector shall complete all notification requirements.

In order to assure that property owners obtain permits as required in this chapter, the building officer and inspector may take any and all actions as outlined in section [4-7-13](#) of this chapter. (Ord. 1995-28, 8-8-1995)

4-7-4: DUTIES OF THE ENFORCEMENT OFFICIAL(S):

The building officer and inspector shall be responsible for the general administration and enforcement of this chapter which shall include the following:

- A. **Determining The Floodplain Designation:** Check all new development sites to determine whether they are in a special flood hazard area (SFHA). If they are in an SFHA, determine whether they are in a floodway, flood fringe or a floodplain on which a detailed study has not been conducted which drains more than one square mile.
- B. **Professional Engineer Review:** If the development site is within a floodway or in a floodplain on which a detailed study has not been conducted which drains more than one square mile then the permit shall be referred to a registered professional engineer (PE) under the employ or contract of the village for review to ensure that the development meets the requirements of section [4-7-7](#) of this chapter. In the case of an appropriate use, the PE shall state in writing that the development meets the requirements of section [4-7-7](#) of this chapter.
- C. **Dam Safety Requirements:** Ensure that a DNR dam safety permit has been issued or a letter indicating no dam safety permit is required, if the proposed development activity includes construction of a "dam" as defined in section [4-7-2](#) of this chapter. Regulated dams may include weirs, restrictive culverts or impoundment structures.
- D. **Other Permit Requirements:** Ensure that any and all required federal, state and local permits are received prior to the issuance of a floodplain development permit.
- E. **Plan Review And Permit Issuances:** Ensure that all development activities within the SFHAs of the jurisdiction of the village meet the requirements of this chapter and issue a floodplain development permit in accordance with the provisions of this chapter and other regulations of this community when the development meets the conditions of this chapter.
- F. **Inspection Review:** Inspect all development projects before, during and after construction to assure proper elevation of the structure and to ensure they comply with the provisions of this chapter.
- G. **Elevation And Floodproofing Certificates:** Maintain in the permit files an elevation certificate certifying the elevation of the lowest floor (including basement) of a residential or nonresidential building or the elevation to which a nonresidential building has been

floodproofed, using a floodproofing certificate, for all buildings subject to section [4-7-9](#) of this chapter for public inspection and provide copies of same.

- H. Records For Public Inspection: Maintain for public inspection and furnish upon request base flood data, SFHA and regulatory floodway maps, copies of federal or state permit documents, variance documentation, conditional letter of map revision, letter of map revision, letter of map amendment and "as built" elevation and floodproofing or elevation and floodproofing certificates for all buildings constructed subject to this chapter.
- I. State Permits: Ensure that construction authorization has been granted by the Illinois office of water resources, for all development projects subject to sections [4-7-7](#) and [4-7-8](#) of this chapter, unless enforcement responsibility has been delegated to the village. Upon acceptance of this chapter by DNR and FEMA, responsibility is hereby delegated to the village as per 92 Illinois administrative code 708 for construction in the regulatory floodway and floodplain when floodways have not been defined in sections [4-7-7](#) and [4-7-8](#) of this chapter. However, the following review approvals are not delegated to the village and shall require review or permits from DNR:
1. Organizations which are exempt from this chapter, as per the Illinois Compiled Statutes.
 2. Department of transportation projects, "dams" or impoundment "structures" as defined in section [4-7-2](#) of this chapter and all other state, federal or local unit of government projects, including projects of the village and county, except for those projects meeting the requirements of subsection [4-7-7B6](#) of this chapter.
 3. An engineer's determination that an existing bridge or culvert crossing is not a source of flood damage and the analysis indicating the proposed flood profile, per subsection [4-7-7B2e](#) of this chapter.
 4. An engineer's analysis of the flood profile due to subsection [4-7-7B2d](#) of this chapter.
 5. Alternative transition sections and hydraulically equivalent compensatory storage as indicated in subsections [4-7-7B2a](#), [B2b](#) and [B2h](#) of this chapter.
 6. Permit issuance of structures within or over publicly navigable rivers, lakes and streams.
 7. Any changes in the base flood elevation or floodway locations.
 8. Base flood elevation determinations where none now exist.
- J. Cooperation With Other Agencies: Cooperate with state and federal floodplain management agencies to improve base flood or 100-year frequency flood and floodway data and to improve the administration of this chapter. Submit data to DNR and the federal emergency management agency for proposed revisions of a regulatory map. Submit reports as required for the national flood insurance program. Notify the federal emergency management agency of any proposed amendments to this chapter.

- K. Promulgate Regulations: Promulgate rules and regulations as necessary to administer and enforce the provisions of this chapter, subject however to the review and approval of DNR and FEMA for any chapter changes. (Ord. 1995-28, 8-8-1995)

4-7-5: BASE FLOOD ELEVATION:

This chapter's protection standard is based on the flood insurance study for the village. If a base flood elevation or 100-year frequency flood elevation is not available for a particular site, then the protection standard shall be according to the best existing data available in federal, state or other sources. When a party disagrees with the best available data, he/she may finance the detailed engineering study needed to replace existing data with better data and submit it to DNR and FEMA. (Ord. 2012-34, 12-18-2012)

- A. The base flood or 100-year frequency flood elevation for the SFHAs of the DuPage River shall be as delineated on the 100-year flood profiles in the flood insurance study of the village prepared by FEMA and dated September 6, 1995, and such amendments to such study and maps as may be prepared from time to time. (Ord. 1995-28, 8-8-1995)
- B. The base flood or 100-year frequency flood elevation for the SFHAs of those parts of unincorporated Will County that are within the extraterritorial jurisdiction of the village or that may be annexed into the village shall be delineated on the 100-year flood profiles in the flood insurance study of Will County prepared by FEMA and dated September 6, 1995, and such amendments or revisions to such study and maps as may be prepared from time to time. The base flood or 100-year frequency flood elevation for the SFHAs of those parts of unincorporated Grundy County that are within the extraterritorial jurisdiction of the village or that may be annexed into the village shall be as delineated on the 100-year flood profiles in the flood insurance study of Grundy County prepared by FEMA and dated August 2, 2012, and such amendments or revisions to such study and maps as may be prepared from time to time. The base flood or 100-year frequency flood elevation for the SFHAs of those parts of unincorporated Kendall County that are within the extraterritorial jurisdiction of the village or that may be annexed into the village shall be as delineated on the 100-year flood profiles in the flood insurance study of Kendall County prepared by FEMA and dated January 8, 2014, and such other amendments or revisions to such study and maps as may be prepared from time to time. (Ord. 2013-29, 11-26-2013)
- C. The base flood or 100-year frequency flood elevation for each SFHA delineated as an "AH zone" or "AO zone" shall be that elevation (or depth) delineated on the flood insurance rate map of the village. (Ord. 1995-28, 8-8-1995)

- D. The base flood or 100-year frequency flood elevation for each of the remaining SFHAs delineated as an "A zone" on the flood insurance rate map of the village shall be according to the best existing data available from federal, state or other sources. When no base flood or 100-year frequency flood elevation exists, the base flood or 100-year frequency flood elevation for a riverine SFHA shall be determined from a backwater model approved by the village engineer. The flood flows used in the hydraulic models shall be obtained from a hydrologic model, such as HEC-I, TR-20, or HIP, or by techniques presented in various publications prepared by the United States geological survey for estimating peak flood discharges. Flood flows should be based on anticipated future land use conditions in the watershed as determined from adopted local and regional land use plans. Along any watercourses draining more than one square mile, the above analyses shall be submitted to DNR for approval. (Ord. 2012-19, 7-24-2012)

4-7-6: OCCUPATION AND USE OF FLOOD FRINGE AREAS:

Development in and/or filling of the flood fringe will be permitted if protection is provided against the base flood or 100-year frequency flood by proper elevation and compensatory storage and other provisions of this chapter are met. No use will be permitted which adversely affects the capacity of drainage facilities or systems. Developments located within the flood fringe shall meet the requirements of this section, along with the requirements of section [4-7-9](#) of this chapter.

- A. Development Permit: No person, firm, corporation or governmental body not exempted by state law shall commence any development in the SFHA without first obtaining a development permit from the building officer and inspector.
1. Application for a development permit shall be made on a form provided by the building officer and inspector. The application shall be accompanied by drawings of the site, drawn to scale, showing property line dimensions and legal description for the property, and sealed by a licensed engineer, architect or land surveyor; existing grade elevations in mean sea level (1929 adjustment) datum of NGVD and all changes in grade resulting from excavation or filling; the location and dimensions of buildings and additions to buildings. For all proposed buildings, the elevation of the lowest floor (including basement) and lowest adjacent grade shall be shown on the submitted plans and the development will be subject to the requirements of section [4-7-9](#) of this chapter.
 2. Upon receipt of a development permit application, the building officer and inspector shall compare the elevation of the site to the base flood or 100-year frequency flood elevation. Any development located on land that can be shown to have been higher than the base flood elevation as of the sites first flood insurance rate map identification is not in the SFHA and, therefore, not subject to the requirements of this chapter. The building officer and inspector shall maintain documentation of the existing ground elevation at the development site and certification that this ground elevation existed prior to the date of the site's first flood insurance rate map identification.

3. A soil erosion and sedimentation control plan for disturbed areas shall be submitted. This plan shall include a description of the sequence of grading activities and the temporary sediment and erosion control measures to be implemented to mitigate their effects. This plan shall also include a description of final stabilization and revegetation measures and the identification of a responsible party to ensure postconstruction maintenance.
4. The building officer and inspector shall be responsible for obtaining from the applicant, copies of all other local, state and federal permits, approvals or permit not required letters that may be required for this type of activity. The building officer and inspector shall not issue a permit unless all other local, state and federal permits have been obtained.

B. Preventing Increased Damages: No development in the flood fringe shall create a threat to public health and safety.

1. Elevation Of Site: If fill is being used to elevate the site above the base flood or 100-year frequency flood elevation, the applicant shall submit sufficient data and obtain a letter of map revision (LOMR) from FEMA for the purpose of removing the site from the floodplain.
2. Compensatory Storage: Whenever any portion of a floodplain is authorized for use, the volume of space which will be occupied by the authorized fill or structure below the base flood or 100-year frequency flood elevation shall be compensated for and balanced by a hydraulically equivalent volume of excavation taken from below the base flood or 100-year frequency flood elevation. The excavation volume shall be at least equal to one and five-tenths (1.5) times the volume of storage lost due to the fill or structure. In the case of streams and watercourses, such excavation shall be made opposite or adjacent to the areas so filled or occupied. All floodplain storage lost below the existing 10-year flood elevation shall be replaced below the proposed 10-year flood elevation. All flood plain storage lost above the existing 10-year flood elevation shall be replaced above the proposed 10-year flood elevation. All such excavations shall be constructed to drain freely and openly to the watercourse. (Ord. 1995-28, 8-8-1995)

4-7-7: OCCUPATION AND USE OF IDENTIFIED FLOODWAYS:

This Section applies to proposed development, redevelopment, site modification or building modification within a regulatory floodway. The regulatory floodway for DuPage River shall be as delineated on the regulatory floodway maps designated by DNR and referenced in Section [4-7-2](#) of this Chapter. Only those uses and structures will be permitted which meet the criteria in this Section. All floodway modifications shall be the minimum necessary to accomplish the purpose of the project. The development shall also meet the requirements of Section [4-7-9](#) of this Chapter.

- A. Development Permit: No person, firm, corporation, or governmental body not exempted by State law shall commence any development in a floodway without first obtaining a development permit from the Building Officer and Inspector.

1. Application for a development permit shall be made on a form provided by the Building Officer and Inspector. The application shall include the following information:
 - a. Name and address of applicant;
 - b. Site location (including legal description) of the property, drawn to scale, on the Regulatory Floodway Map, indicating whether it is proposed to be in an incorporated or unincorporated area;
 - c. Name of stream or body of water affected;
 - d. Description of proposed activity;
 - e. Statement of purpose of proposed activity;
 - f. Anticipated dates of initiation and completion of activity;
 - g. Name and mailing address of the owner of the subject property if different from the applicant;
 - h. Signature of applicant or the applicant's agent;
 - i. If the applicant is a corporation, the president or other authorized officer shall sign the application form;
 - j. If the applicant is a partnership, each partner shall sign the application form; and
 - k. If the applicant is a land trust, the trust officer shall sign the name of the trustee by him as trust officer. A disclosure affidavit shall be filed with the application, identifying each beneficiary of the trust by name and address and defining the respective interest therein.
- l. Plans of the proposed activity shall be provided which include as a minimum:
 - (1) A vicinity map showing the site of the activity, name of the waterway, boundary lines, names of roads in the vicinity of the site, graphic or numerical scale, and north arrow;
 - (2) A plan view of the project and engineering study reach showing existing and proposed conditions including principal dimensions of the structure or work, elevations in mean sea level (1929 adjustment) datum of NGVD, adjacent property lines and ownership, drainage and flood control easements, location of any channels and any existing or future access roads, distance between proposed activity and navigation channel (when the proposed construction is near a commercially navigable body of water), regulatory floodway limit, flood plain limit, specifications and dimensions of any proposed channel modifications, location and orientation of cross sections, north arrow, and a graphic or numerical scale.
 - (3) Cross section views of the project and engineering study reach showing existing and proposed conditions including principal dimensions of the work as shown in plan view, existing and proposed elevations, normal water elevation, 10-year frequency flood elevation, 100-year frequency flood elevation, and graphic or numerical scales (horizontal and vertical).

- (4) A soil erosion and sedimentation control plan for disturbed areas. This plan shall include a description of the sequence of grading activities and the temporary sediment and erosion control measures to be implemented to mitigate their effects. This plan shall also include a description of final stabilization and revegetation measures, and the identification of a responsible party to ensure post-construction maintenance.
 - (5) A copy of the Regulatory Floodway Map, marked to reflect any proposed change in the regulatory floodway location.
- m. Any and all other local, State and Federal permits or approval letters that may be required for this type of development.
 - n. Engineering calculations and supporting data shall be submitted showing that the proposed work will meet the permit criteria of subsection [4-7-7B](#) of this Chapter.
 - o. If the regulatory floodway delineation, base flood or 100-year frequency flood elevation will change due to the proposed project, the application will not be considered complete until the DNR has indicated conditional approval of the Regulatory Floodway Map change. No structures may be built until a letter of map revision has been approved by FEMA.
 - p. The application for a structure shall be accompanied by drawings of the site, drawn to scale showing property line dimensions and existing ground elevations and all changes in grade resulting from any proposed excavation or filling, and flood plain and floodway limits; sealed by a registered professional engineer, licensed architect or registered land surveyor; the location and dimensions of all buildings and additions to buildings; and the elevation of the lowest floor (including basement) of all proposed buildings subject to the requirements of Section [4-7-9](#) of this Chapter.
 - q. If the proposed project involves a channel modification, the applicant shall submit the following information:
 - (1) A discussion of the purpose of and need for the proposed work;
 - (2) A discussion of the feasibility of using alternative locations or methods to accomplish the purpose of the proposed work;
 - (3) An analysis of the extent and permanence of the impacts the project would have on the physical and biological conditions of the body of water affected;
 - (4) An analysis of the extent and permanence of the impacts each feasible alternative identified in subsection B2d(1) of this Section would have on the physical and biological conditions of the body of water affected; and
 - (5) An analysis of the impacts of the proposed project, considering cumulative effects on the physical and biological conditions of the body of water affected.
2. The Building Officer and Inspector shall be responsible for obtaining from the applicant copies of all other local, State and Federal permits and approvals that may be required for this type of activity. The Building Officer and Inspector shall not issue the development permit unless all required Federal and State permits have been obtained. A registered

professional engineer, under the employ or contract of the Village shall review and approve applications reviewed under this Section.

B. Preventing Increased Damages And A List Of Appropriate Uses:

1. Floodway Development: The only development in a floodway which will be allowed are appropriate uses, which will not cause a rise in the base flood elevation, and which will not create a damaging or potentially damaging increase in flood heights or velocity or be a threat to public health and safety and welfare or impair the natural hydrologic and hydraulic functions of the floodway or channel, or permanently impair existing water quality or aquatic habitat. Construction impacts shall be minimized by appropriate mitigation methods as called for in this Chapter. Only those appropriate uses listed in 92 Illinois Administrative Code 708 will be allowed. Appropriate uses do not include the construction or placement of any new structures, fill, building additions, buildings on stilts, excavation or channel modifications done to accommodate otherwise nonappropriate uses in the floodway, fencing (including landscaping or planting designed to act as a fence) and storage of materials except as specifically defined above as an appropriate use. The approved appropriate uses are as follows:
 - a. Flood control structures, dikes, dams and other public works or private improvements relating to the control of drainage, flooding, erosion or water quality or habitat for fish and wildlife;
 - b. Structures or facilities relating to the use of, or requiring access to, the water or shoreline, such as pumping and treatment facilities and facilities and improvements related to recreational boating, commercial shipping and other functionally water dependent uses;
 - c. Storm and sanitary sewer outfalls;
 - d. Underground and overhead utilities;
 - e. Recreational facilities such as playing fields and trail systems including any related fencing (at least 50 percent open when viewed from any one direction) built parallel to the direction of flood flows and including open air pavilions;
 - f. Detached garages, storage sheds or other nonhabitable accessory structures without toilet facilities to existing buildings that will not block flood flows, nor reduce floodway storage;
 - g. Bridges, culverts, roadways, sidewalks, railways, runways and taxiways and any modification thereto;
 - h. Parking lots and any modifications thereto (where depth of flooding at the 100-year frequency flood event will not exceed 1.0 foot) and aircraft parking aprons built at or below ground elevation;
 - i. Regulatory floodway regrading, without fill, to create a positive nonerosive slope toward a watercourse;

- j. Floodproofing activities to protect previously existing lawful structures including the construction of watertight window wells, elevating structures or construction of floodwalls around residential, commercial or industrial principal structures where the outside toe of the floodwall shall be no more than ten feet (10') away from the exterior wall of the existing structure, and which are not considered substantial improvements to the structure;
- k. In the case of damaged or replacement buildings, reconstruction or repairs made to a building that are valued at less than fifty percent (50%) of the market value of the building before it was damaged or replaced and, which do not increase the outside dimensions of the building;
- l. Additions to existing buildings above the BFE³ that do not increase the building's footprint and are valued at less than fifty percent (50%) of the market value of the building.
2. Appropriate Use: Within the regulatory floodway, as identified on the regulatory floodway maps designated by DNR, the construction of an appropriate use will be considered permissible provided that the proposed project meets the following engineering and mitigation criteria and is so stated in writing with supporting plans, calculations and data by a registered professional engineer and provided that any structure meets the protection requirements of Section [4-7-9](#) of this Chapter:
- a. Preservation Of Flood Conveyance, So As Not To Increase Flood Stages Upstream: For appropriate uses other than bridge or culvert crossings, on-stream structures or dams, all effective regulatory floodway conveyance lost due to the project will be replaced for all flood events up to and including the 100-year frequency flood. In calculating effective regulatory floodway conveyance, the following factors shall be taken into consideration:
- (1) Regulatory floodway conveyance,
- $$K' = \frac{1.486}{n} AR^{2/3}$$
- where "n" is Manning's roughness factor, "A" is the effective area of the cross section and "R" is the ratio of the area to the wetted perimeter. (See Open Channel Hydraulics, Ven Te Chow, 1959, McGraw-Hill Book Company, New York.)
- (2) The same Manning's "n" value shall be used for both existing and proposed conditions unless a recorded maintenance agreement with a Federal, State or local unit of government can assure the proposed conditions will be maintained or the land cover is changing from a vegetative to a nonvegetative land cover.
- (3) Transition sections shall be provided and used in calculations of effective regulatory floodway conveyance. The following expansion and contraction ratios shall be used unless an applicant's engineer can prove to DNR through engineering calculations or model tests that more abrupt transitions may be used with the same efficiency:
- (A) When water is flowing from a narrow section to a wider section, the water should be assumed to expand no faster than at a rate of one foot (1') horizontal for every

four feet (4') of the flooded stream's length.

(B) When water is flowing from a wide section to a narrow section, the water should be assumed to contract no faster than at a rate of one foot (1') horizontal for every one foot (1') of the flooded stream's length.

(C) When expanding or contracting flows in a vertical direction, a minimum of one foot (1') vertical transition for every ten feet (10') of stream length shall be used.

(D) Transition sections shall be provided between cross sections with rapid expansions and contractions and when meeting the regulatory floodway delineation on adjacent properties.

(E) All cross sections used in the calculations shall be located perpendicular to flood flows.

- b. Preservation Of Floodway Storage So As Not To Increase Downstream Flooding: Compensatory storage shall be provided for any regulatory floodway storage lost due to the proposed work from the volume of fill or structures placed and the impact of any related flood control projects. Compensatory storage for fill or structures shall be equal to at least one and five-tenths (1.5) times the volume of flood plain storage lost. Artificially created storage lost due to a reduction in head loss behind a bridge shall not be required to be replaced. The compensatory regulatory floodway storage shall be placed between the proposed normal water elevation and the proposed 100-year flood elevation. All regulatory floodway storage lost below the existing 10-year flood elevation shall be replaced below the existing 10-year flood elevation. All regulatory flood elevation storage lost above the existing 10-year flood elevation shall be replaced above the 10-year flood elevation. All such excavations shall be constructed to drain freely and openly to the watercourse. If the compensatory storage will not be placed at the location of the proposed construction, the applicant's engineer shall demonstrate to DNR through a determination of flood discharges and water surface elevations that the compensatory storage is hydraulically equivalent. Finally, there shall be no reduction in floodway surface area as a result of a floodway modification, unless such modification is necessary to reduce flooding at existing structure.
- c. Preservation Of Floodway Velocities So As Not To Increase Stream Erosion Or Flood Heights: For all appropriate uses, except bridges or culverts or on-stream structures, the proposed work will not result in an increase in the average channel or regulatory floodway velocities or stage, for all flood events up to and including the 100-year frequency event. However, in the case of bridges or culverts or on-stream structures built for the purpose of backing up water in the stream during normal or flood flows, velocities may be increased at the structure site if scour, erosion and sedimentation will be avoided by the use of rip-rap or other design measures.
- d. Construction Of New Bridges Or Culvert Crossings And Roadway Approaches: The proposed structure shall not result in an increase of upstream flood stages greater than one-tenth foot (0.1') when compared to the existing conditions for all flood events up to and including the 100-year frequency event, or the upstream flood stage increases will be contained within the channel banks (or within existing vertical extensions of the channel banks) such as within the design protection grade of existing levees or flood walls or within recorded flood easements. If the proposed construction will increase

upstream flood stages greater than one-tenth foot (0.1'), the developer must contact DNR, Dam Safety Section for a dam safety permit or waiver.

- (1) The engineering analysis of upstream flood stages must be calculated using the flood study flows and corresponding flood elevations for tailwater conditions for the flood study specified in Section [4-7-5](#) of this Chapter. Culverts must be analyzed using the U.S. DOT/FHWA Hydraulic Chart for the Selection of Highway Culverts. Bridges must be analyzed using the U.S. DOT/Federal Highway Administration Hydraulics of Bridge Waterways calculation procedures.
 - (2) Lost floodway storage must be compensated for per subsection B2b of this Section.
 - (3) Velocity increases must be mitigated per subsection B2c above.
 - (4) If the crossing is proposed over a public water that is used for recreational or commercial navigation, a Department of Transportation permit must be received.
 - (5) The hydraulic analysis for the backwater caused by the bridge showing the existing condition and proposed regulatory profile must be submitted to DNR for concurrence that a CLOMR is not required by subsection B of this Section.
 - (6) All excavations for the construction of the crossing shall be designed per subsection B2h of this Section.
- e. Reconstruction Or Modification Of Existing Bridges, Culverts And Approach Roads:
- (1) The bridge or culvert and roadway approach reconstruction or modification shall be constructed within no more than one-tenth foot (0.1') increase in backwater over the existing flood profile for all flood frequencies up to and including the 100-year event, if the existing structure is not a source of flood damage.
 - (2) If the existing bridge or culvert and roadway approach is a source of flood damage to buildings or structures in the upstream flood plain, the applicant's engineer shall evaluate the feasibility of redesigning the structure to reduce the existing backwater, taking into consideration the effects on flood stages on upstream and downstream properties.
 - (3) The determination as to whether or not the existing crossing is a source of flood damage and should be redesigned must be prepared in accordance with the Department of Transportation Rules 92 Illinois Administrative Code 708 (Floodway Construction in Northeastern Illinois) and submitted to the Office of Water Resources for review and concurrence before a permit is issued.
- f. On-Stream Structures Built For The Purpose Of Backing Up Water: Any increase in upstream flood stages greater than zero foot (0.0') when compared to the existing conditions, for all flood events up to and including the 100-year frequency event shall be contained within the channel banks (or within existing vertical extensions of the channel banks) such as within the design protection grade of existing levees or flood walls or within recorded flood easements. A permit or letter indicating a permit is not required must be obtained from DNR, Dam Safety Section for a dam safety permit or waiver for any structure built for the purpose of backing up water in the stream during normal or flood flow. All "dams" and impoundment "structures" as defined in Section [4-](#)

7-2 shall meet the permitting requirements of 92 Illinois Administrative Code 702 (Construction and Maintenance of Dams). If the proposed activity involves a modification of the channel or floodway to accommodate an impoundment, it shall be demonstrated that:

- (1) The impoundment is determined to be in the public interest by providing flood control, public recreation or regional storm water detention.
 - (2) The impoundment will not prevent the migration of indigenous fish species, which require access to upstream areas as part of their life cycle, such as for spawning.
 - (3) The impoundment will not cause or contribute to degraded water quality or habitat conditions. Impoundment design should include gradual bank slopes, appropriate bank stabilization measures and a presedimentation basin.
 - (4) A nonpoint source control plan has been implemented in the upstream watershed to control the effects of sediment runoff as well as minimize the input of nutrients, oil and grease, metals and other pollutants. If there is more than one municipality in the upstream watershed, the municipality in which the impoundment is constructed should coordinate with upstream municipalities to ensure comprehensive watershed control.
 - (5) The project otherwise complies with the requirements of this Section.
- g. Floodproofing Of Existing Habitable, Residential And Commercial Structures: If construction is required beyond the outside dimensions of the existing building, the outside perimeter of the floodproofing construction shall be placed no further than ten feet (10') from the outside of the building. Compensation of lost storage and conveyance will not be required for floodproofing activities.
- h. Excavation In The Floodway: When excavation is proposed in the design of bridges and culvert openings, including the modifications to and replacement of existing bridge and culvert structures, or to compensate for lost conveyance for other appropriate uses, transition sections shall be provided for the excavation. The following expansion and contraction ratios shall be used unless an applicant's engineer can prove to DNR through engineering calculations or model tests that more abrupt transitions may be used with the same efficiency:
- (1) When water is flowing from a narrow section to a wider section, the water should be assumed to expand no faster than at a rate of one foot (1') horizontal for every four feet (4') of the flooded stream's length;
 - (2) When water is flowing from a wide section to a narrow section, the water should be assumed to contract no faster than at a rate of one foot (1') horizontal for every one foot (1') of the flooded stream's length; and
 - (3) When expanding or contracting flows in a vertical direction, a minimum of one foot (1') vertical transition for every ten feet (10') of stream length shall be used.
 - (4) Erosion/scour protection shall be provided inland upstream and downstream of the transition sections.

- i. If the proposed activity involves a channel modification, it shall be demonstrated that:
- (1) There are no practicable alternatives to the activity which would accomplish its purpose with less impact to the natural conditions of the body of water affected. Possible alternatives include levees, bank stabilization, floodproofing of existing structures, removal of structures from the flood plain, clearing the channel, high flow channel, or the establishment of a stream side buffer strip or green belt. Channel modification is acceptable if the purpose is to restore natural conditions and improve water quality and fish and wildlife habitat.
 - (2) Water quality, habitat and other natural functions would be significantly improved by the modification and no significant habitat area may be destroyed, or the impacts are offset by the replacement of an equivalent degree of natural resource values.
 - (3) The activity has been planned and designed and will be constructed in a way which will minimize its adverse impacts on the natural conditions of the body of water affected, consistent with the following criteria:
 - (A) The physical characteristics of the modified channel shall match as closely as possible those of the existing channel in length, cross-section, slope and sinuosity. If the existing channel has been previously modified, restoration of more natural physical conditions should be incorporated into channel modification design, where practical.
 - (B) Hydraulically effective transitions shall be provided at both the upstream and downstream ends of the project, designed such that they will prevent erosion.
 - (C) One-sided construction of a channel shall be used when feasible. Removal of streamside (riparian) vegetation should be limited to one side of the channel, where possible, to preserve the shading and stabilization effects of the vegetation.
 - (D) Clearing of vegetation shall be limited to that which is essential for construction of the channel.
 - (E) Channel banks shall be constructed with a side slope no steeper than three to one (3:1) horizontal to vertical, wherever practicable. Natural vegetation and gradual side slopes are the preferred methods for bank stabilization. Where high velocities or sharp bends necessitate the use of alternative stabilization measures, natural rock or rip-rap are preferred materials. Artificial materials such as concrete, gabions or construction rubble should be avoided unless there are no practicable alternatives.
 - (F) All disturbed areas associated with the modification shall be seeded or otherwise stabilized as soon as possible upon completion of construction. Erosion blanket or an equivalent material shall be required to stabilize disturbed channel banks prior to establishment of the vegetative cover.
 - (G) If the existing channel contains considerable bottom diversity such as deep pools, riffles and other similar features, such features shall be provided in the new channel. Spawning and nesting areas and flow characteristics compatible with fish habitat shall also be established, where appropriate.

- (H) A sediment basin shall be installed at the downstream end of the modification to reduce sedimentation and degradation of downstream water quality.
- (I) New or relocated channels should be built in the dry and all items of construction, including vegetation, should be completed prior to diversion of water into the new channel.
- (J) There shall be no increases in stage or velocity as the channel enters or leaves the project site for any frequency flood unless necessitated by a public flood control project or unless such an increase is justified as part of a habitat improvement or erosion control project.
- (K) Unless the modification is for a public flood control project, there shall be no reduction in the volume of floodwater storage outside the floodway as a result of the modification; and
- (4) The project otherwise complies with the requirements of Section [4-7-7](#).
- j. Seeding And Stabilization Plan: For all activities located in a floodway, a seeding and stabilization plan shall be submitted by the applicant.
- k. Soil Erosion And Sedimentation Measures: For all activities in the floodway, including grading, filling and excavation, in which there is potential for erosion of exposed soil, soil erosion and sedimentation control measures shall be employed consistent with the following criteria:
- (1) The construction areas shall be minimized to preserve the maximum vegetation possible. Construction shall be scheduled to minimize the time soil is exposed and unprotected. In no case shall the existing natural vegetation be destroyed, removed or disturbed more than fifteen (15) days prior to the initiation of improvements.
 - (2) Temporary and/or permanent soil stabilization shall be applied to denuded areas as soon as possible. As a minimum, soil stabilization shall be provided within fifteen (15) days after final grade is reached on any portion of the site, and within fifteen (15) days to denuded areas which may not be at final grade but will remain undisturbed for longer than sixty (60) days.
 - (3) Sedimentation control measures shall be installed before any significant grading or filling is initiated on the site to prevent the movement of eroded sediments off site or into the channel. Potential sediment control devices include filter fences, straw bale, fences, check dams, diversion ditches and sediment basins.
 - (4) A vegetated buffer strip of at least twenty five feet (25') in width shall be preserved and/or re-established, where possible, along existing channels (see subsection B2p of this Section). Construction vehicle use of channels shall be minimized. Temporary stream crossings shall be constructed, where necessary, to minimize erosion. Necessary construction in or along channels shall be restabilized immediately.
 - (5) Soil erosion and sedimentation control measures shall be designed and implemented consistent with Procedures and Standards for Urban Soil Erosion and Sedimentation Control in Illinois (1988), also known as the Green Book and Standards and Specifications for Soil Erosion and Sediment Control (IEPA, 1987).

- I. Public Flood Control Projects: For public flood control projects, the permitting requirements of this Section will be considered met if the applicant can demonstrate to DNR through hydraulic and hydrologic calculations that the proposed project will not singularly or cumulatively result in increased flood heights outside the project right of way or easements for all flood events up to and including the 100-year frequency event.
- m. General Criteria For Analysis Of Flood Elevations:
- (1) The flood profiles, flows and floodway data in the regulatory floodway study, referenced in Section [4-7-5](#) must be used for analysis of the base conditions. If the study data appears to be in error or conditions have changed, DNR shall be contacted for approval and concurrence on the appropriate base conditions data to use.
 - (2) If the 100-year regulatory floodway elevation at the site of the proposed construction is affected by backwater from a downstream receiving stream with a larger drainage area, the proposed construction shall be shown to meet the requirements of this Section for the 100-year frequency flood elevations of the regulatory floodway conditions and conditions with the receiving stream at normal water elevations.
 - (3) If the applicant learns from DNR, local governments or a private owner that a downstream restrictive bridge or culvert is scheduled to be removed, reconstructed, modified or a regional flood control project is scheduled to be built, removed, constructed or modified within the next five (5) years, the proposed construction shall be analyzed and shown to meet the requirements of this Section for both the existing conditions and the expected flood profile conditions when the bridge, culvert or flood control project is built.
- n. Conditional Letter Of Map Revision: If the appropriate use would result in a change in the regulatory floodway location or the 100-year frequency flood elevation, the applicant shall submit to DNR and to FEMA all the information, calculations and documents necessary to be issued a conditional regulatory floodway map revision and receive from DNR a conditional approval of the regulatory floodway change before a permit is issued. However, the final regulatory floodway map will not be changed by DNR until as-built plans or record drawings are submitted and accepted by FEMA and DNR. In the case of nongovernment projects, the Municipality in incorporated areas and the County in unincorporated areas shall concur with the proposed conditional regulatory floodway map revision before DNR approval can be given. No filling, grading, dredging or excavating shall take place until a conditional approval is issued. No further development activities shall take place until a final letter of map revision (LOMR) is issued by FEMA and DNR.
- o. Professional Engineer's Supervision: All engineering analyses shall be performed by or under the supervision of a registered professional engineer.
- p. For all activities in the floodway involving construction within twenty five feet (25') of the channel, the following criteria shall be met:
- (1) A natural vegetation buffer strip shall be preserved within at least twenty five feet (25') of the ordinary high water mark of the channel.

- (2) Where it is impossible to protect this buffer strip during the construction of an appropriate use, a vegetated buffer strip shall be established upon completion of construction.
- (3) The use of native riparian vegetation is preferred in the buffer strip. Access through this buffer strip shall be provided, when necessary, for stream maintenance purposes.

After receipt of conditional approval of the regulatory floodway change and issuance of a permit and a conditional letter of map revision, construction as necessary to change the regulatory floodway designation may proceed but no buildings or structures or other construction that is not an appropriate use may be placed in that area until the Regulatory Floodway Map is changed and a final letter of map revision is received. The Regulatory Floodway Map will be revised upon acceptance and concurrence by DNR and FEMA of the "as built" plans.

3. State Review: For those projects listed below located in a regulatory floodway, the following criteria shall be submitted to DNR for their review and concurrence prior to the issuance of a permit:
 - a. The DNR will review an engineer's analysis of the flood profile due to a proposed bridge pursuant to subsection B2d of this Section.
 - b. The DNR will review an engineer's determination that an existing bridge or culvert crossing is not a source of flood damage and the analysis indicating the proposed flood profile, pursuant to subsection B2e of this Section.
 - c. The DNR will review alternative transition sections and hydraulically equivalent storage pursuant to subsection B2a, 2b and 2h of this Section.
 - d. The DNR will review and approve prior to the start of construction any Department projects, dams (as defined in Section [4-7-2](#) of this Chapter) and all other State, Federal or local units of government projects, including projects of the Municipality or County.
4. Other Permits: In addition to the other requirements of this Chapter, a development permit for a site located in a floodway shall not be issued unless the applicant first obtains a permit or written documentation that a permit is not required from DNR, issued pursuant to 615 Illinois Compiled Statutes 5/5 et seq. No permit from DNR shall be required if the Office of Water Resources has delegated this responsibility to the Village.
5. Dam Safety Permits: Any work involving the construction, modification or removal of a "dam" as defined in Section [4-7-2](#) of this Chapter per 92 Illinois Administrative Code 702 (Rules for Construction of Dams) shall obtain an Illinois Office of Water Resources dam safety permit prior to the start of construction of a dam. If the Building Officer and Inspector finds a dam that does not have a DNR permit, the Building Officer and Inspector shall immediately notify the Dam Safety Section of the Office of Water Resources. If the Building Officer and Inspector finds a dam which is believed to be in unsafe condition, the Building Officer and Inspector shall immediately notify the owner of the dam, DNR, Dam Safety Section in Springfield and the Illinois Emergency Management Agency (EMA).
6. Activities That Do Not Require A Registered Professional Engineer's Review: The

following activities may be permitted without a registered professional engineer's review. Such activities shall still meet the other requirements of this Chapter, including the mitigation requirements.

a. Underground and overhead utilities that:

- (1) Do not result in any increase in existing ground elevations, or
- (2) Do not require the placement of aboveground structures in the floodway, or
- (3) In the case of underground stream crossings, the top of the pipe or encasement is buried a minimum of three feet (3') below the existing stream bed, and
- (4) In the case of overhead utilities, no supporting towers are placed in the watercourse and are designed in such a fashion as not to catch debris.

b. Storm and sanitary sewer outfalls that:

- (1) Do not extend riverward or lakeward of the existing adjacent natural bank slope, and
- (2) Do not result in an increase in ground elevation, and
- (3) Are designed so as not to cause stream erosion at the outfall location.

c. Construction of sidewalks, athletic fields (excluding fences), properly anchored playground equipment and patios at grade.

d. Construction of shoreline and streambank protection that:

- (1) Does not exceed one thousand feet (1,000') in length.
- (2) Materials are not placed higher than the existing top of bank.
- (3) Materials are placed so as not to reduce the cross-sectional area of the stream channel or bank of the lake.
- (4) Vegetative stabilization and gradual side slopes are the preferred mitigation methods for existing erosion problems. Where high channel velocities, sharp bends or wave action necessitate the use of alternative stabilization measures, natural rock or rip-rap are preferred materials. Artificial materials such as concrete, construction rubble and gabions should be avoided unless there are no practicable alternatives.

e. Temporary stream crossings in which:

- (1) The approach roads will be five-tenths foot (0.5') ($1/2$ foot) or less above natural grade.
- (2) The crossing will allow stream flow to pass without backing up the water above the stream bank vegetation line or above any drainage tile or outfall invert.
- (3) The top of the roadway fill in the channel will be at least two feet (2') below the top of the lowest bank. Any fill in the channel shall be nonerosive material, such as rip-

rap or gravel.

- (4) All disturbed stream banks will be seeded or otherwise stabilized as soon as possible upon installation and again upon removal of construction.
- (5) The access road and temporary crossings will be removed within one year after authorization. (Ord. 1995-28, 8-8-1995)

4-7-8: OCCUPATION AND USE OF SPECIAL FLOOD HAZARD AREAS WHERE FLOODWAYS ARE NOT IDENTIFIED:

A. Development: In SFHA or floodplains (including AO zones, AH zones or unnumbered A zones), where no floodways have been identified and no base flood or 100-year frequency flood elevations have been established by FEMA, and draining more than a square mile, no development shall be permitted unless the cumulative effect of the proposals, when combined with all other existing and anticipated uses and structures, shall not significantly impede or increase the flow and passage of the floodwaters nor significantly increase the base flood or 100-year frequency flood elevation.

1. Development Permit: No person, firm, corporation or governmental body not exempted by state law, shall commence any development in an SFHA or floodplain without first obtaining a development permit from the building officer and inspector. Application for a development permit shall be made on a form provided by the building officer and inspector. The application shall be accompanied by drawings of the site, drawn to scale showing property line dimensions; and existing grade elevations and all changes in grade resulting from excavation or filling, sealed by a licensed engineer, architect or surveyor; the location and dimensions of all buildings and additions to buildings; and the elevation of the lowest floor (including basement) of all proposed buildings subject to the requirements of section [4-7-9](#) of this chapter.

The application for a development permit shall also include the following information:

- a. A detailed description of the proposed activity, its purpose, and intended use;
- b. Site location (including legal description) of the property, drawn to scale, on the regulatory floodway maps, indicating whether it is proposed to be in an incorporated or unincorporated area;
- c. Anticipated dates of initiation and completion of activity.
- d. Plans of the proposed activity shall be provided which include as a minimum:
 - (1) A vicinity map showing the site of the activity, name of the waterway, boundary lines, names of roads in the vicinity of the site, graphic or numerical scale and north arrow;
 - (2) A plan view of the project and engineering study reach showing existing and proposed conditions including principal dimensions of the structure or work,

elevations in mean sea level (1929 adjustment) datum or NGVD, adjacent property lines and ownership, drainage and flood control easements, distance between proposed activity and navigation channel (when the proposed construction is near a commercially navigable body of water), floodplain limit, location and orientation of cross sections, north arrow, and a graphical or numerical scale;

(3) Cross sectional views of the project and engineering study reach showing existing and proposed conditions including principal dimensions of the work as shown in plan view, existing and proposed elevations, normal water elevation, 10-year frequency flood elevation, 100-year frequency flood elevation, and graphical or numerical scales (horizontal and vertical); and

(4) A soil erosion and sedimentation control plan for disturbed areas. This plan shall include a description of the sequence of grading activities and the temporary sediment and erosion control measures to be implemented to mitigate their effects. This plan shall also include a description of final stabilization and revegetation measures, and the identification of a responsible party to ensure postconstruction maintenance.

e. Engineering calculations and supporting data shall be submitted showing that the proposed work will meet the criteria of subsection B of this section.

f. Any and all other local, state and federal permits or approvals that may be required for this type of development. (Ord. 1995-28, 8-8-1995)

2. Calculation And Documentation: Based on the best available existing data according to federal, state or other sources, the building officer and inspector shall compare the elevation of the site to the base flood or 100-year frequency flood elevation. Should no elevation information exist for the site, the developer's engineer shall calculate the elevation according to subsection [4-7-5D](#) of this chapter. Any development located on land that can be shown to have been higher than the base flood elevation as of the site's first flood insurance rate map identification is not in the SFHA and, therefore, not subject to the requirements of this chapter. The building officer and inspector shall maintain documentation of the existing ground elevation at the development site and certification that this ground elevation existed prior to the date of the site's first flood insurance rate map identification. (Ord. 2012-34, 12-18-2012)

3. Permits: The building officer and inspector shall be responsible for obtaining from the applicant copies of all other local, state and federal permits, approvals or permit not required letters that may be required for this type of activity. The building officer and inspector shall not issue the development permit unless all required local, state and federal permits have been obtained.

B. Preventing Increased Damages: No development in the SFHA, where a floodway has not been determined shall create a damaging or potentially damaging increase in flood heights or velocity or threat to public health, safety and welfare or impair the natural hydrologic and hydraulic functions of the floodway or channel or impair existing water quality or aquatic habitat. Construction impacts shall be minimized by appropriate mitigation methods as called for in this chapter.

1. Standards: Within all riverine SFHAs where the floodway has not been determined, the following standards shall apply:
 - a. The developer shall have a registered professional engineer state in writing and show through supporting plans, calculations and data that the project meets the engineering requirements of subsection [4-7-7B2a](#) through B2l of this chapter, for the entire floodplain as calculated under the provisions of subsection [4-7-5D](#) of this chapter. As an alternative, the developer should have an engineering study performed to determine a floodway and submit that engineering study to DNR for acceptance as a regulatory floodway. Upon acceptance of the floodway by the department, the developer shall then demonstrate that the project meets the requirements of section [4-7-7](#) of this chapter for the regulatory floodway. The floodway shall be defined according to the definition of "regulatory floodway" in section [4-7-2](#) of this chapter.
 - b. A development permit shall not be issued unless the applicant first obtains a permit from DNR or written documentation that a permit is not required from DNR.
 - c. No permit from DNR shall be required if the office has delegated permit responsibility to the village per 92 Illinois administrative code, part 708 for regulatory floodways, per DNR statewide permit entitled "Construction In Floodplains With No Designated Floodways In Northeastern Illinois".
 - d. Any work involving the construction, modification or removal of a dam or an on stream "structure" to impound water as defined in section [4-7-2](#) of this chapter, shall obtain an Illinois office of water resources dam safety permit or letter indicating a permit is not required prior to the start of construction of a dam. If the building officer and inspector finds a dam that does not have a DNR permit, the building officer and inspector shall immediately notify the dam safety section of the office of water resources. If the building officer and inspector finds a dam which is believed to be in unsafe condition, the building officer and inspector shall immediately notify the owner of the dam and the Illinois emergency management agency (EMA), and the DNR, dam safety section in Springfield.
 - e. The following activities may be permitted without a registered professional engineer's review or calculation of a base flood elevation and regulatory floodway. Such activities shall still meet the other requirements of this chapter:
 - (1) Underground and overhead utilities that:
 - (A) Do not result in any increase in existing ground elevations, or
 - (B) Do not require the placement of aboveground structures in the floodway, or
 - (C) In the case of underground stream crossings, the top of the pipe or encasement is buried a minimum of three feet (3') below the existing streambed, and
 - (D) In the case of overhead utilities, no supporting towers are placed in the watercourse and are designed in such a fashion as not to catch debris.
 - (2) Storm and sanitary sewer outfalls that:

- (A) Do not extend riverward or lakeward of the existing adjacent natural bank slope, and
 - (B) Do not result in an increase in ground elevation, and
 - (C) Are designed so as not to cause stream erosion at the outfall location.
- (3) Construction of shoreline and stream bank protection that:
- (A) Does not exceed one thousand feet (1,000') in length or two (2) cubic yards per lineal foot of stream bed.
 - (B) Materials are not placed higher than the existing top of bank.
 - (C) Materials are placed so as not to reduce the cross-sectional area of the stream channel by more than ten percent (10%).
 - (D) Vegetative stabilization and gradual side slopes are the preferred mitigation methods for existing erosion problems. Where high channel velocities, sharp bends or wave action necessitate the use of alternative stabilization measures, natural rock or rip-rap are preferred materials. Artificial materials such as concrete, construction rubble, and gabions should be avoided unless there are not practicable alternatives.
- (4) Temporary stream crossings in which:
- (A) The approach roads will be five-tenths foot (0.5') ($\frac{1}{2}$ foot) or less above natural grade.
 - (B) The crossing will allow stream flow to pass without backing up the water above the stream bank vegetation line or above any drainage tile or outfall invert.
 - (C) The top of the roadway fill in the channel will be at least two feet (2') below the top of the lowest bank. Any fill in the channel shall be nonerosive material, such as rip-rap or gravel.
 - (D) All disturbed stream banks will be seeded or otherwise stabilized as soon as possible upon installation and again upon removal of construction.
 - (E) The access road and temporary crossings will be removed within one year after authorization.
- (5) The construction of light poles, sign posts and similar structures;
- (6) The construction of sidewalks, driveways, athletic fields (excluding fences), patios and similar surfaces which are built at grade;
- (7) The construction of properly anchored, unwallied, open structures such as playground equipment, pavilions and carports built at or below existing grade that would not obstruct the flow of flood waters;
- (8) The placement of properly anchored buildings not exceeding seventy (70) square

feet in size, nor ten feet (10') in any one dimension (e.g., animal shelters and tool sheds);

(9) The construction of additions to existing buildings which do not increase the first floor area by more than twenty percent (20%), which are located on the upstream or downstream side of the existing building, and which do not extend beyond the sides of the existing building that are parallel to the flow of flood waters;

(10) Minor maintenance dredging of a stream channel where:

(A) The affected length of stream is less than one thousand feet (1,000');

(B) The work is confined to reestablishing flows in natural stream channels; or

(C) The cross-sectional area of the dredged channel conforms to that of the natural channel upstream and downstream of the site.

f. The flood carrying capacity within any altered or relocated watercourse shall be maintained.

2. **Compensatory Storage:** Whenever any portion of a flood plain is authorized for use, the volume of space which will be occupied by the authorized fill or structure below the base flood or 100-year frequency flood elevation shall be compensated for and balanced by a hydraulically equivalent volume of excavation taken from below the base flood or 100-year frequency flood elevation. The excavation volume shall be at least equal one and five-tenths (1.5) times to the volume of storage lost due to the fill or structure. In the case of streams and watercourses, such excavation shall be made opposite or adjacent to the areas so filled or occupied. All flood plain storage lost below the existing 10-year flood elevation shall be replaced below the proposed 10-year flood elevation. All flood plain storage lost above the existing 10-year flood elevation shall be replaced above the proposed 10-year flood elevation. All such excavations shall be constructed to drain freely and openly to the watercourse. (Ord. 1995-28, 8-8-1995)

4-7-9: PERMITTING REQUIREMENTS APPLICABLE TO ALL FLOOD PLAIN AREAS AND PROTECTION OF BUILDINGS⁴:

In addition to the requirements found in Sections [4-7-6](#), [4-7-7](#) and [4-7-8](#) of this Chapter, for development in flood fringes, regulatory floodways and SFHA or flood plains where no floodways have been identified (Zones A, AO, AH, AE, A1-30, A99, VO, V-30, VE, V, M or E), the following requirements shall be met:

A. Public Health Standards:

1. No developments in the SFHA shall include locating or storing chemicals, explosives, buoyant materials, animal wastes, fertilizers, flammable liquids, pollutants or other

hazardous or toxic materials below the FPE.

2. New and replacement water supply systems, wells, sanitary sewer lines and on-site waste disposal systems may be permitted providing all manholes or other aboveground openings located below the FPE are watertight.

B. Carrying Capacity And Notification: For all projects involving channel modification, fill or stream maintenance (including levees), the flood carrying capacity of the watercourse shall be maintained. In addition, the Village shall notify adjacent communities in writing thirty (30) days prior to the issuance of a permit for the alteration or relocation of the watercourse.

C. Protecting Buildings:

1. All buildings located within a 100-year flood plain also known as a SFHA, shall be protected from flood damage below the flood protection elevation. However, existing buildings located within a regulatory floodway shall also meet the more restrictive appropriate use standards included in Section [4-7-7](#) of this Chapter. This building protection criteria applies to the following situations:
 - a. Construction or placement of a new building;
 - b. A structural alteration to an existing building that either increases the first floor area by more than twenty percent (20%) or the building's market value by more than fifty percent (50%);
 - c. Installing a manufactured home on a new site or a new manufactured home on an existing site. This building protection requirement does not apply to returning a mobile home to the same site it lawfully occupied before it was removed to avoid flood damage; and
 - d. Installing a travel trailer on a site for more than one hundred eighty (180) days.
2. This building protection requirement may be met by one of the following methods:
 - a. A residential or nonresidential building, when allowed, may be constructed on permanent land fill in accordance with the following:
 - (1) The lowest floor (including basement) shall be at or above the flood protection elevation.
 - (2) The fill shall be placed in layers no greater than one foot (1') deep before compaction and should extend at least ten feet (10') beyond the foundation of the building before sloping below the flood protection elevation. The top of the fill shall be above the flood protection elevation. However, the ten foot (10') minimum may be waived if a structural engineer certifies an alternative method to protect the building from damages due to hydrostatic pressures. The fill shall be protected against erosion and scour. The fill shall not adversely affect the flow or surface drainage from or onto neighboring properties.

- b. A residential or nonresidential building may be elevated in accordance with the following:
- (1) The building or improvements shall be elevated on crawl spaces, stilts, piles, walls or other foundation that is permanently open to flood waters and not subject to damage by hydrostatic pressures of the base flood or 100-year frequency flood. The permanent openings shall be no more than one foot (1') above grade and consists of a minimum of two (2) openings. The openings must have a total net area of not less than one square inch for every one square foot of enclosed area subject to flooding below the base flood elevation.
 - (2) The foundation and supporting members shall be anchored and aligned in relation to flood flows and adjoining structures so as to minimize exposure to known hydrodynamic forces such as current, waves, ice and floating debris.
 - (3) All areas below the flood protection elevation shall be constructed of materials resistant to flood damage. The lowest floor (including basement) and all electrical, heating, ventilating, plumbing and air conditioning equipment and utility meters shall be located at or above the flood protection elevation. Water and sewer pipes, electrical and telephone lines, submersible pumps and other waterproofed service facilities may be located below the flood protection elevation.
 - (4) No area below the flood protection elevation shall be used for storage of items or materials.
 - (5) Manufactured homes and travel trailers to be installed on a site for more than one hundred eighty (180) days, shall be elevated to or above the flood protection elevation; and, shall be anchored to resist flotation, collapse or lateral movement by being tied down in accordance with the Rules and Regulations for the Illinois Mobile Home Tie-Down Act issued pursuant to 77 Illinois Administrative Code 870.
- c. Only a nonresidential building may be structurally dry floodproofed (in lieu of elevation) provided that a registered professional engineer shall certify that the building has been structurally dry floodproofed below the flood protection elevation, the structure and attendant utility facilities are watertight and capable of resisting the effects of the base flood or 100-year frequency flood. The building design shall take into account flood velocities, duration, rate of rise, hydrostatic and hydrodynamic forces, the effects of buoyancy, and impacts from debris or ice. Floodproofing measures shall be operable without human intervention and without an outside source of electricity (levees, berms, floodwalls and similar works are not considered floodproofing for the purpose of this subsection).
- d. Nonconforming structures located in a regulatory floodway may remain in use, but may not be enlarged, replaced or structurally altered. A nonconforming structure damaged by flood, fire, wind or other natural or manmade disaster may be restored unless the damage exceeds fifty percent (50%) of its market value before it was damaged, in which case it shall conform to this Chapter.

D. Filing Fee And Engineer's Services:

1. A filing fee of one hundred dollars (\$100.00) shall be paid to the Village Clerk at the time of filing of any application under this Chapter.
2. The cost incurred by the Village for the review of applications, plans and specifications, and for inspection of any development, by the Village Engineer, or by a registered professional engineer under the employ or contract of the Village, shall be paid by the applicant. Such costs shall be paid to the Village Clerk at the time of issuance or denial of any permit under this Chapter, or at the time of the issuance or denial of any variance under this Chapter. (Ord. 1995-28, 8-8-1995)

4-7-10: OTHER DEVELOPMENT REQUIREMENTS:

The Board of Trustees shall take into account flood hazards, to the extent that they are known in all official actions related to land management, use and development.

- A. New subdivisions, manufactured home parks, annexation agreements and planned unit developments (PUDs) within the SFHA shall be reviewed to assure that the proposed developments are consistent with sections [4-7-6](#), [4-7-7](#), [4-7-8](#) and [4-7-9](#) of this chapter and the need to minimize flood damage. Plats or plans for new subdivisions, manufactured home parks and planned unit developments (PUDs) shall include a signed statement by a registered professional engineer that the plat or plans account for changes in the drainage of surface waters in accordance with the plat act⁵. (Ord. 1995-28, 8-8-1995)
- B. Proposals for new subdivisions, manufactured home parks, travel trailer parks, planned unit developments (PUDs) and additions to manufactured home parks and additions to subdivisions shall include base flood or 100-year frequency flood elevation data and floodway delineations. Where this information is not available from an existing study filed with the federal, state or other sources, the applicant's engineer shall be responsible for calculating the base flood or 100-year frequency flood elevation per subsection [4-7-5D](#) of this chapter and the floodway delineation per the definition of "regulatory floodway" in section [4-7-2](#) of this chapter and submitting it for review and approval as best available regulatory data. (Ord. 2012-34, 12-18-2012)
- C. Streets, blocks, lots, parks and other public grounds shall be located and laid out in such a manner as to preserve and utilize natural streams and channels. Wherever possible, the floodplains shall be included within parks or other public grounds.
- D. The board of trustees shall not approve any planned unit development (PUD) or plat of subdivision located outside the corporate limits unless such agreement or plat is in accordance with the provisions of this chapter. (Ord. 1995-28, 8-8-1995)

4-7-11: VARIANCES:

No variances shall be granted to any development located in "regulatory floodway", as defined in section [4-7-2](#) of this chapter. However, when a development proposal is located outside of a regulatory floodway, and whenever the standards of this chapter place undue hardship on a specific development proposal, the applicant may apply to the village for a variance. The plan commission shall review the applicant's request for a variance and shall submit its recommendation to the board of trustees.

A. No variance shall be granted unless the applicant demonstrates that:

1. The development activity cannot be located outside the SFHA;
2. An exceptional hardship would result if the variance were not granted;
3. The relief requested is the minimum necessary;
4. There will be no additional threat to public health, safety, beneficial stream uses and functions, especially aquatic habitat or creation of a nuisance;
5. There will be no additional public expense for flood protection, lost environmental stream uses and functions, rescue or relief operations, policing, or repairs to streambeds and banks, roads, utilities or other public facilities;
6. The provisions of subsections [4-7-6B](#) and [4-7-8B](#) of this chapter shall still be met;
7. The activity is not in a regulatory floodway;
8. The applicant's circumstances are unique and do not represent a general problem; and
9. The granting of the variance will not alter the essential character of the area involved including existing stream uses.

B. The building officer and inspector shall notify an applicant in writing that a variance from the requirements of section [4-7-9](#) of this chapter, that would lessen the degree of protection to a building will:

1. Result in increased premium rates for flood insurance up to amounts as high as twenty five dollars (\$25.00) for one hundred dollars (\$100.00) of insurance coverage;
2. Increase the risks to life and property; and
3. Require that the applicant proceed with knowledge of these risks and that he will acknowledge in writing that he assumes the risk and liability.

- C. Variances requested in connection with restoration of a site or building listed on the national register of historical places or documented as worthy of preservation by the Illinois historic preservation agency may be granted using criteria more permissive than the requirements of subsections A and B of this section. (Ord. 1995-28, 8-8-1995)

4-7-12: DISCLAIMER OF LIABILITY:

The degree of flood protection required by this chapter is considered reasonable for regulatory purposes and is based on available information derived from engineering and scientific methods of study. Larger floods may occur or flood heights may be increased by manmade or natural causes. This chapter does not imply that development, either inside or outside of the SFHA, will be free from flooding or damage. This chapter does not create liability on the part of the village or any officer or employee thereof for any flood damage that results from reliance on this chapter or any administrative decision made lawfully thereunder. (Ord. 1995-28, 8-8-1995)

4-7-13: PENALTY:

Failure to comply with the requirements of a permit or conditions of a variance resolution shall be deemed to be a violation of this chapter. Upon due investigation, the building officer and inspector may determine that a violation of the minimum standards of this chapter exist. The building officer and inspector shall notify the owner in writing of such violation.

A. If such owner fails after ten (10) days' notice to correct the violation:

1. The village may make application to the circuit court for an injunction requiring conformance with this chapter or make such other order as the court deems necessary to secure compliance with this chapter.
2. Any person who violates this chapter shall, upon conviction thereof, be fined not less than fifty dollars (\$50.00) or more than one thousand dollars (\$1,000.00) for each offense.
3. A separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.
4. The village may record a notice of violation on the title to the property.

B. The building officer and inspector shall inform the owner that any such violation is considered a wilful act to increase flood damages and, therefore, may cause coverage by a standard flood insurance policy to be suspended.

C. Nothing herein shall prevent the village from taking such other lawful action to prevent or remedy any violations. All costs connected therewith shall accrue to the person or persons responsible. (Ord. 1995-28, 8-8-1995)

4-7-14: ABROGATION AND GREATER RESTRICTIONS:

This chapter is not intended to repeal, abrogate or impair any existing easements, covenants or deed restrictions. Where this chapter and other ordinances, easements, covenants or deed restrictions conflict or overlap, whichever imposes the more stringent restrictions shall prevail. This chapter is intended to repeal the original ordinance or resolution which was adopted to meet the national flood insurance program regulations, but is not intended to repeal the resolution which the village passed in order to establish initial eligibility for the program. (Ord. 1995-28, 8-8-1995)

Minooka Ordinance Memo

To: Village President and the Board of Trustees
Cc: Dan Duffy, John Harrington, File
From: Ryan Anderson, Superintendent of Public Works
Date: June 10, 2020
Re: Amendment to Stormwater Ordinance

Attached is a recommendation from Robinson Engineering to change our current Village Code to reflect the requirements of the Will County Stormwater Ordinance along with the Ordinance Amendment. Our current ordinance requires no more than 1" ponding depth above the curb and the Will County has 6 inches of ponding depth above the crown of roadway.

The ponding depth amendment has been reviewed by the Public Works Committee in May with no objections.

The amendment will also:

- Adopt the Will County Stormwater Management Ordinance
- Update inconsequential changes to ordinance language that references the latest standards

Therefore, I recommend the Board to amend the ordinance as presented.

Attachments:
Recommendation from Robinson Engineering
Ordinance Amendment

To: Ryan Anderson, Director of Public Works Date: March 11, 2020
From: Paul Pearson
Subject: Street Ponding Project No. 20-R0083

BACKGROUND

Robinson Engineering has been asked to review the Village's Code in reference to ponding depths in roadways during extreme rainfall events. We have researched the code in numerous Villages in the area and below is a summary of our findings.

FINDINGS

VILLAGE OF MINOOKA

Per Village Code Title 10 Chapter 8 Section 7K-1: For streets that are to be used as part of the minor or major drainage system, ponding depths shall not exceed the top of the curb height by more than one inch. On a typical residential street with the distance of 32' from back-of-curb to back-of-curb, this would mean zero ponding at the center of the roadway. It should be noted that the Village of Minooka has adopted the Will County Stormwater ordinance, and this varies from their Ordinance.

WILL COUNTY STORM WATER ORDINANCE

Per Section 202.8, Flow Depths lists the following three requirements:

- Maximum flow depths for new transverse stream crossings shall not exceed one foot (12") at the crown of the road during the base flood elevation.
- The maximum flow depth on a roadway shall not exceed six (6) inches at the crown for flow parallel to the roadway.
- For flow over a new roadway or parallel to a new roadway, the product of the flow depth (in feet) and the velocity (in feet per second) shall not exceed four (4) for the base flood condition.
 - Example: if 6" deep, velocity can be no more than 0.667 fps [$6 \times 0.0667 = 4$]

GRUNDY COUNTY STORM WATER ORDINANCE

Per Section 8-4-5-8-3H: Site Runoff Requirements, Flow Depths lists the following three requirements:

- Maximum flow depths for new transverse stream crossings shall not exceed one foot (12") at the crown of the road during the base flood condition.
- The maximum longitudinal flow depth on a roadway shall not exceed six (6) inches at the crown for flow parallel to the roadway.
- The velocity (in feet per second) shall not exceed four feet (4') per second for the base flood condition.

KENDALL COUNTY STORM WATER ORDINANCE

Per Section 202.8: Site Runoff Requirements, Flow Depths lists the following three requirements:

- Maximum flow depths for new transverse stream crossings shall not exceed one foot (12”) at the crown of the road during the base flood condition.
- The maximum flow depth on a roadway shall not exceed six (6) inches at the crown for flow parallel to the roadway.
- For flow over a new roadway or parallel to a new roadway the product of the flow depth (in feet) and the velocity (in feet per second) shall not exceed four (4) for the base flood condition.

VILLAGE OF MOKENA

Per Title 11, Chapter 2 Section 9-D-2

- Street Ponding and flow depths shall not exceed crown by more than three (3) inches.

VILLAGE OF FRANKFORT

Per their Design Standards, Section 4.03E-12-a

- Street Ponding and flow depths shall not exceed crown by more than six (6) inches

VILLAGE OF CHANNAHON

For any development platted after 9/1/2004, their storm water regulations adhere to the Will County ordinance by reference.

- Maximum flow depths for new transverse stream crossings shall not exceed one foot (12”) at the crown of the road during the base flood elevation.
- The maximum flow depth on a roadway shall not exceed six (6) inches at the crown for flow parallel to the roadway.
- For flow over a new roadway or parallel to a new roadway, the product of the flow depth (in feet) and the velocity (in feet per second) shall not exceed four (4) for the base flood condition.

VILLAGE OF NEW LENOX

Per Chapter 38, Section 39 (J)1 of the Village Stormwater Ordinance, ponding depths shall not exceed the top of the curb height by more than one inch. This is like the Village of Minooka Ordinance. It should be noted however, that the Village of New Lenox has also adopted the Will county Storm Water Ordinance as the Village of Minooka and the following guidelines would be in play.

- Maximum flow depths for new transverse stream crossings shall not exceed one foot (12”) at the crown of the road during the base flood elevation.
- The maximum flow depth on a roadway shall not exceed six (6) inches at the crown for flow parallel to the roadway.
- For flow over a new roadway or parallel to a new roadway, the product of the flow depth (in feet) and the velocity (in feet per second) shall not exceed four (4) for the base flood condition.

VILLAGE OF SHOREWOOD

The Village of Shorewood does not have a specific requirement for ponding depths and only references that the ponding shall not create a nuisance. There is not a definition for what is considered a nuisance.

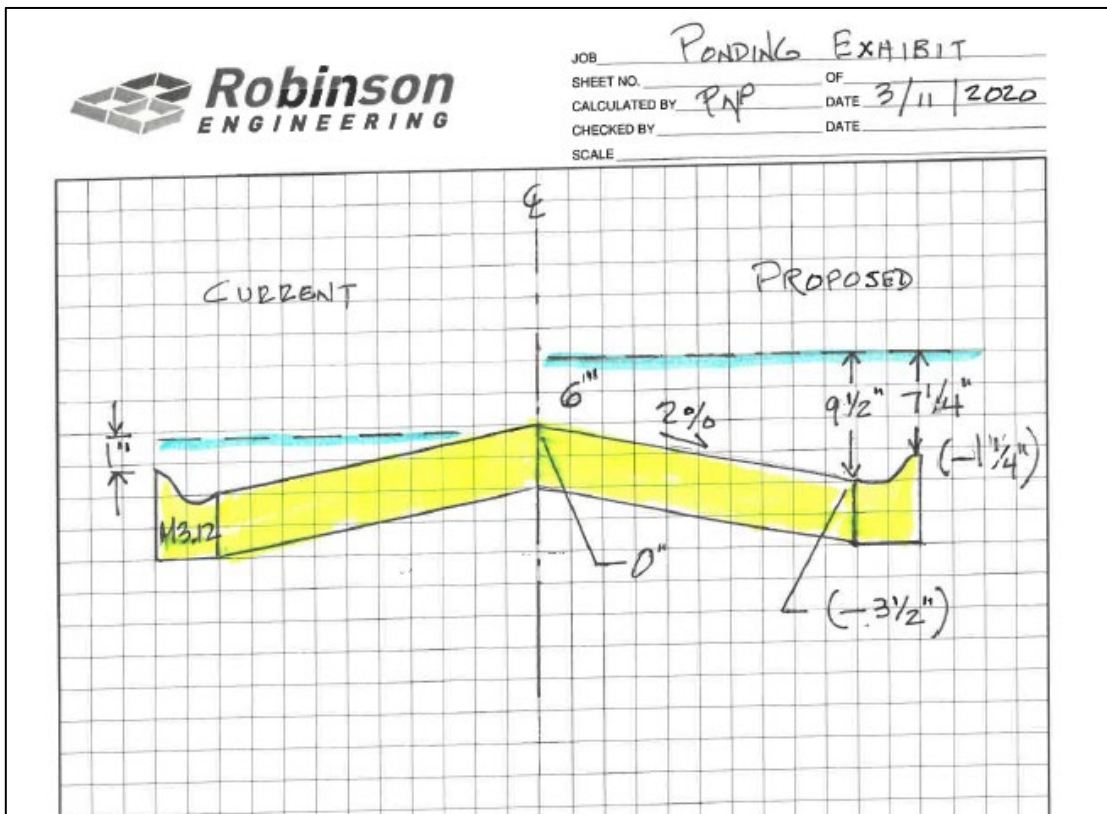
RECCOMENDATION

Based on the above information, we are recommending that the Village allow ponding that does not exceed six (6) inches above the crown of the roadway. This is consistent with the Will County Stormwater Ordinance that the Village has adopted as well as Kendell County, Grundy County and criteria several communities in the area utilize. Six (6) inches of ponding will still allow the safe passage of emergency

vehicles and cars. The depth of water at the edge of pavement would be 9-1/2" and should not affect parked vehicles with standard door clearance. We also recommend that the Village amend their current Stormwater Ordinance to be consistent with the Will County Ordinance. This would eliminate the current requirement of allowing only one inch above the top of curb.

Additionally, it should be noted that the allowance for 6" depth is typically provided to allow sufficient flow transition into side-yard swales for overland flow, and except at the specific overtopping points this would generally not be observed. A check of calculations indicates that a "typical" trapezoidal overland flow swale with 2' bottom and 3:1 side slopes (i.e. fitting within a 7.5' side-yard setback) could effectively convey ~3.5 cfs at 6" depth. This flow rate is roughly equivalent to the 100-yr flow from a "typical" 300' residential block assuming that the entire flow needed to be conveyed overland. To convey the same ~3.5 cfs using the 1" overtop allowed by ordinance, the spread would need to be ~60' overtopping the curb; however, the 1" flow in the swale would only equate to ~0.1 cfs. So unless the roadway is significantly elevated above the homes to allow flow concentration in parkways/yards, the overland flow paths would need to be much larger than setbacks would allow.

EXHIBIT



VILLAGE OF MINOOKA

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ORDINANCE NO. _____

ORDINANCE AMENDING TITLE 4, CHAPTER 8 OF THE MINOOKA
VILLAGE CODE REGARDING STORMWATER DRAINAGE AND DETENTION

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ADOPTED BY THE
BOARD OF TRUSTEES OF THE
VILLAGE OF MINOOKA

THIS _____ DAY OF _____, 2020

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Published in pamphlet form by authority of the Board of Trustees of the Village of Minooka,
Will County, Grundy County and Kendall County, Illinois, this _____ day of
_____, 2020.

ORDINANCE NO. _____

**ORDINANCE AMENDING TITLE 4, CHAPTER 8 OF THE MINOOKA
VILLAGE CODE REGARDING STORMWATER DRAINAGE AND DETENTION**

WHEREAS, by Resolution No. 2003-R-294 passed on December 17, 2003, the Village of Minooka adopted by reference the Will County Stormwater Management Ordinance and declared that in the event of a conflict between existing or future Village Ordinances and Regulations and the Will County Ordinance, the more stringent of the two Ordinances would apply; and

WHEREAS, the Village now wishes to formally codify its adoption of the Will County Stormwater Management Ordinance found in Title V, Chapter 55 of the Will County, Illinois Code of Ordinances; and

WHEREAS, the Village also wishes to specifically amend several provisions of Title 4, Chapter 8 Stormwater Drainage and Detention as more specifically set forth herein.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MINOOKA, WILL COUNTY, GRUNDY COUNTY AND KENDALL COUNTY, ILLINOIS PURSUANT TO ITS STATUTORY AUTHORITY AS FOLLOWS:

SECTION 1. The President and Board of Trustees hereby find that all of the recitals contained in the preamble to this Ordinance are true, correct and complete and are hereby incorporated by reference thereto and made a part hereof.

SECTION 2. Title 4, Chapter 8 of the Minooka Village Code is hereby amended to add Section 4-8-1(C), as follows:

4-8-1: AUTHORITY AND PURPOSE:

C. Incorporation and Adoption of the Will County Stormwater Management Ordinance:

The Will County Stormwater Management Ordinance found in Title V, Chapter 55 of the Will County Ordinances is hereby adopted by the Village and incorporated as if fully set forth herein. In the event of a conflict between the Village Ordinances and the Will County Stormwater Management Ordinance, the more stringent of the two requirements shall apply.

SECTION 3. Title 4, Chapter 8 is hereby amended to repeal and replace the definition of “REGULATORY FLOODWAY” found in Section 4-8-2 “DEFINITIONS” with the following:

REGULATORY FLOODWAY: The channel, including on-stream lakes, and that portion of the flood plain adjacent to a stream or watercourse as designated by the IDNR/OWR and generally depicted on the FEMA FIRM map, which is needed to store and convey the existing and anticipated future 100-year frequency flood discharge with no more than a 0.1 foot increase in stage due to the loss of flood conveyance or storage, and no more than a ten percent (10%) increase in velocities. Refer to Title 4, Chapter 7, Section 4-7-2 “Definitions” for information on designated floodways within the Village limits within Will County, Grundy County and Kendall County.

SECTION 4. Title 4, Chapter 8, Section 4-8-7(D)(2) is repealed and replaced with the following:

2. Positive Drainage: Whenever practicable, all areas of the property must be provided an overland flow path that will pass the 100-year flow at a stage at least one foot (1') below the lowest foundation grade in the vicinity of the flow path. Overland flow paths designed to handle flows in excess of the minor drainage system capacity shall be provided drainage easements. Street ponding and flow depths shall not exceed six inches (6") at the crown of the street inclusive of any required overland conveyance.

SECTION 5. Title 4, Chapter 8, Section 4-8-7(E)(1) is repealed and replaced with the following:

1. Rainfall: Under a continuous simulation approach to drainage system hydrology is used, all design rainfall events shall be based on the latest update of the Illinois State Water Survey's Bulletin. The first quartile point rainfall distribution shall be used for the design and analysis of conveyance systems with critical durations less than or equal to twelve (12) hours. The third quartile point rainfall distribution shall be used for the design and analysis of detention basins and conveyance systems with critical durations greater than twelve (12) and less than or equal to twenty-four (24) hours. The fourth quartile distribution shall be used in the design and analysis of systems with durations greater than twenty-four (24) hours. The first, third and fourth quartile distributions described by Huff, shall be for Heavy Rainfall at a Point (0-10 square miles) as referenced in the Illinois State Water Survey Bulletin used in the Will County Stormwater Management Ordinance. The SCS Type II distribution may be used as an alternate to the Huff distributions when a TR-55 tabular method is utilized.

SECTION 6. Title 4, Chapter 8, Section 4-8-7(K)(1) is repealed and replaced with the following:

1. Streets: If streets are to be used as part of the minor or major drainage system, ponding depths shall not exceed more than six inches (6") at the crown of the street inclusive of any required overland conveyance and shall not remain flooded for more than eight (8) hours for any event less than or equal to the 100-year event.

SECTION 7. In the event that any provision or provisions, or portion or portions of this Ordinance shall be declared to be invalid or unenforceable by a Court of competent jurisdiction, such adjudication shall in no way affect or impair the validity or enforceability of any of the remaining provisions or portions of this Ordinance that may be given effect without such invalid or unenforceable provision or provisions, portion or portions.

SECTION 8. All ordinances or parts of ordinances conflicting with any of the provisions of this Ordinance shall be and the same are hereby repealed.

SECTION 9. The Village Clerk is hereby directed to publish this Ordinance in pamphlet form.

SECTION 10. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PRESENTED and passed by the Board of Trustees on a roll call vote on the _____ day of _____, 2020 with _____ Trustees voting aye, _____ Trustees voting nay, _____ Trustees abstaining, and with _____ Trustees absent, President BRENNAN voting _____: said vote being: HOUCHENS _____, MARTIN _____, THOMPSON _____, PARRISH _____, HRECHKO _____, and OFFERMAN _____.

Orsola Evola, Village Clerk

APPROVED this _____ day of _____, 2020.

Patrick J. Brennan, Village President

ATTEST:

Orsola Evola, Village Clerk