



Up to  
**2,002,600 SF** (under one roof)

- Building 1 | Ready for immediate construction
- Flexible build-to-suit options available
- +/-416 acre site
- Potential CSX rail-served logistics park
- Superior access to Union Pacific & BNSF intermodals

# I-80 Logistics Park

Minooka, IL

Jones Lang LaSalle Midwest, LLC

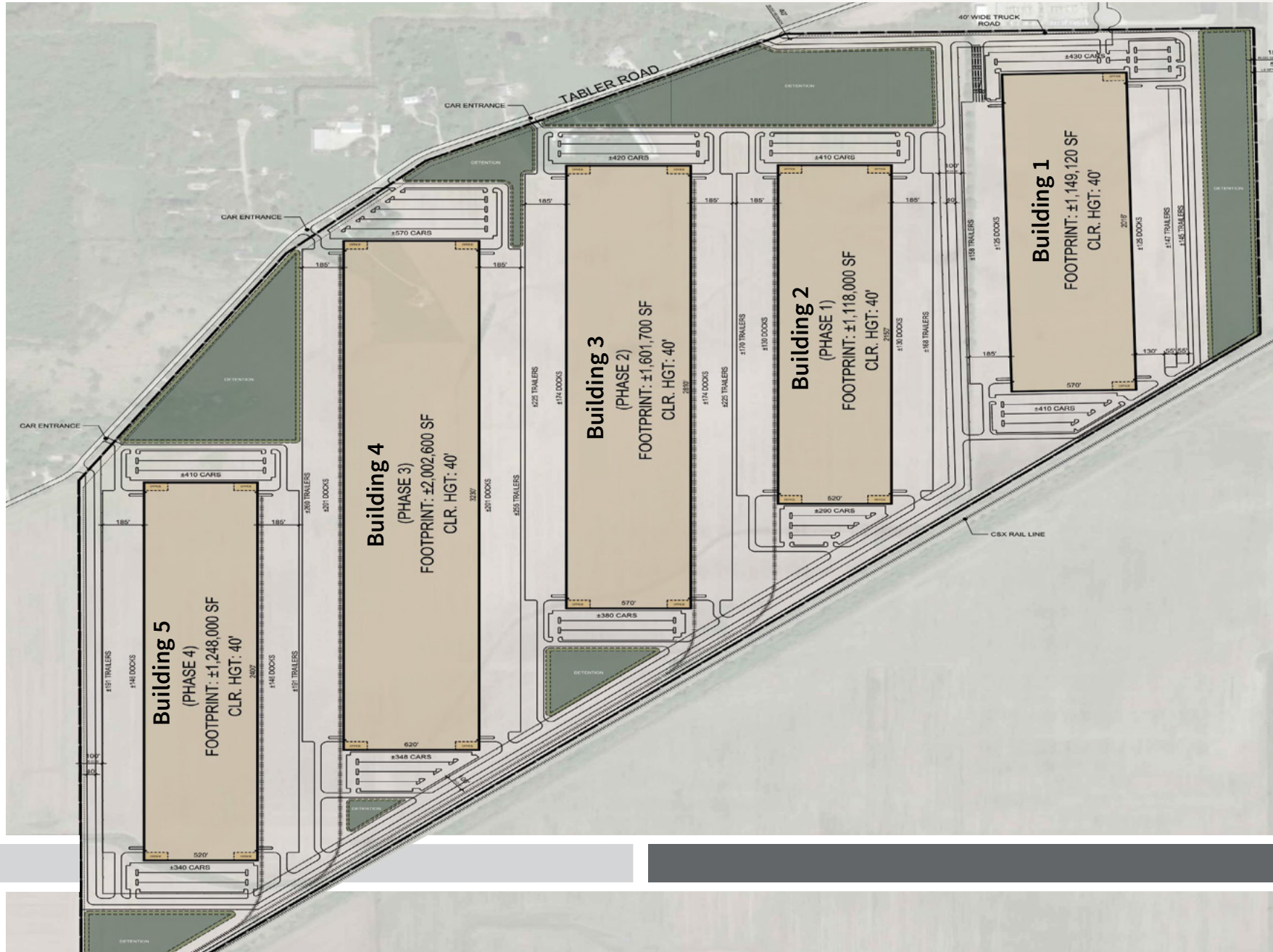
Brokers:

**Keith Stauber**  
 +1 773 458 1386  
 keith.stauber@jll.com

**Steve Ostrowski**  
 +1 773 458 1417  
 steve.ostrowski@jll.com

# I-80 Logistics Park

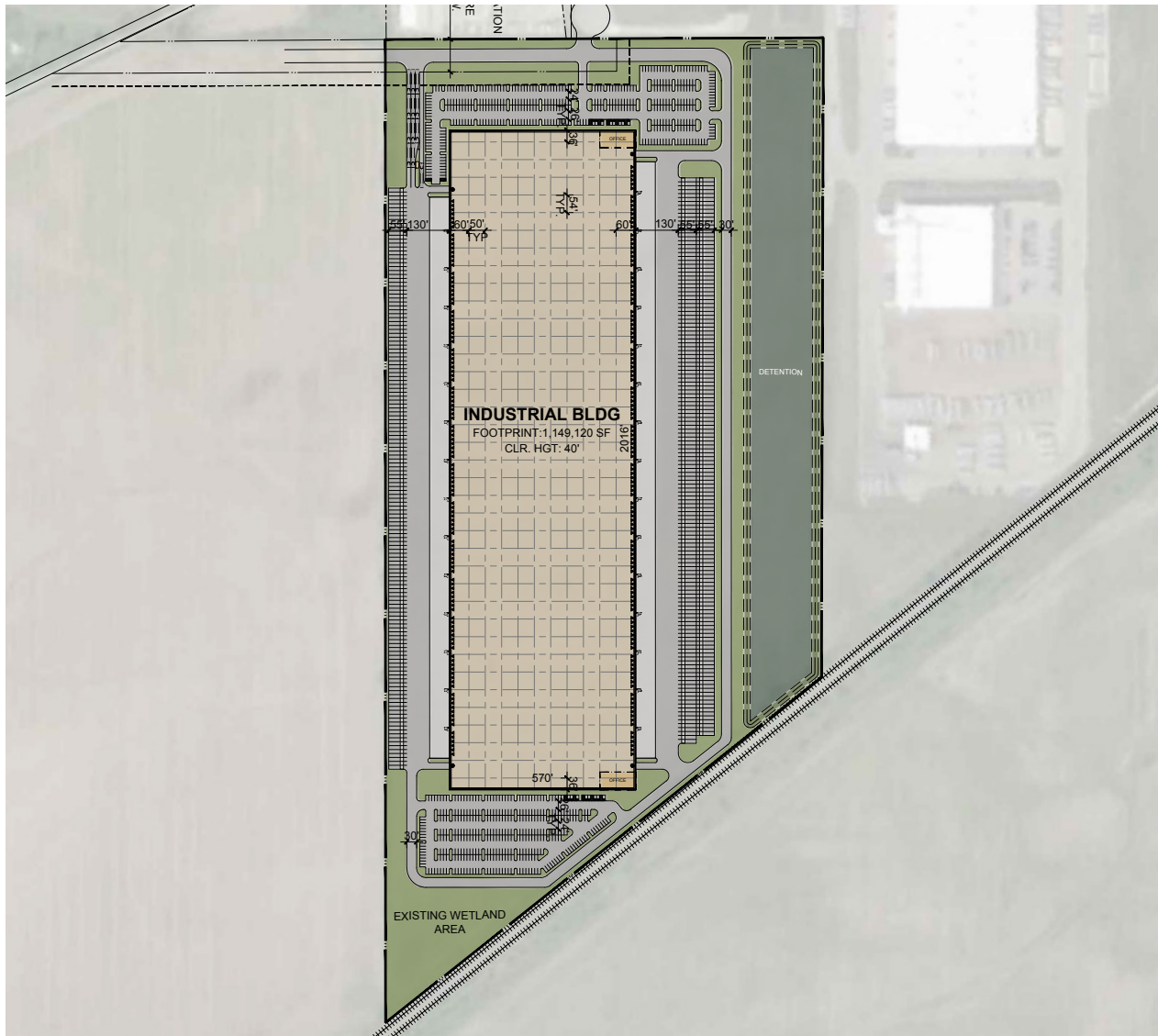
## Conceptual site plan



# Building 1 - Conceptual site plan



Ready for immediate construction



## Development features



**Building size**  
1,149,120 sf (divisible)



**Site size**  
76 acres



**Office**  
to suit



**Truck courts**  
185' & 240' with 60' concrete dock aprons



**Car parking**  
766 stalls



**Trailer parking**  
434 trailer stalls (expandable)



**Ceiling height**  
40' clear



**Building depth**  
570'



**Loading**  
241 exterior docks  
4 drive-in doors



**Real estate taxes**  
\$0.50/sf Grundy County  
tax abatement



**Lease rate**  
STO



**Access**  
CSX rail line

# Access



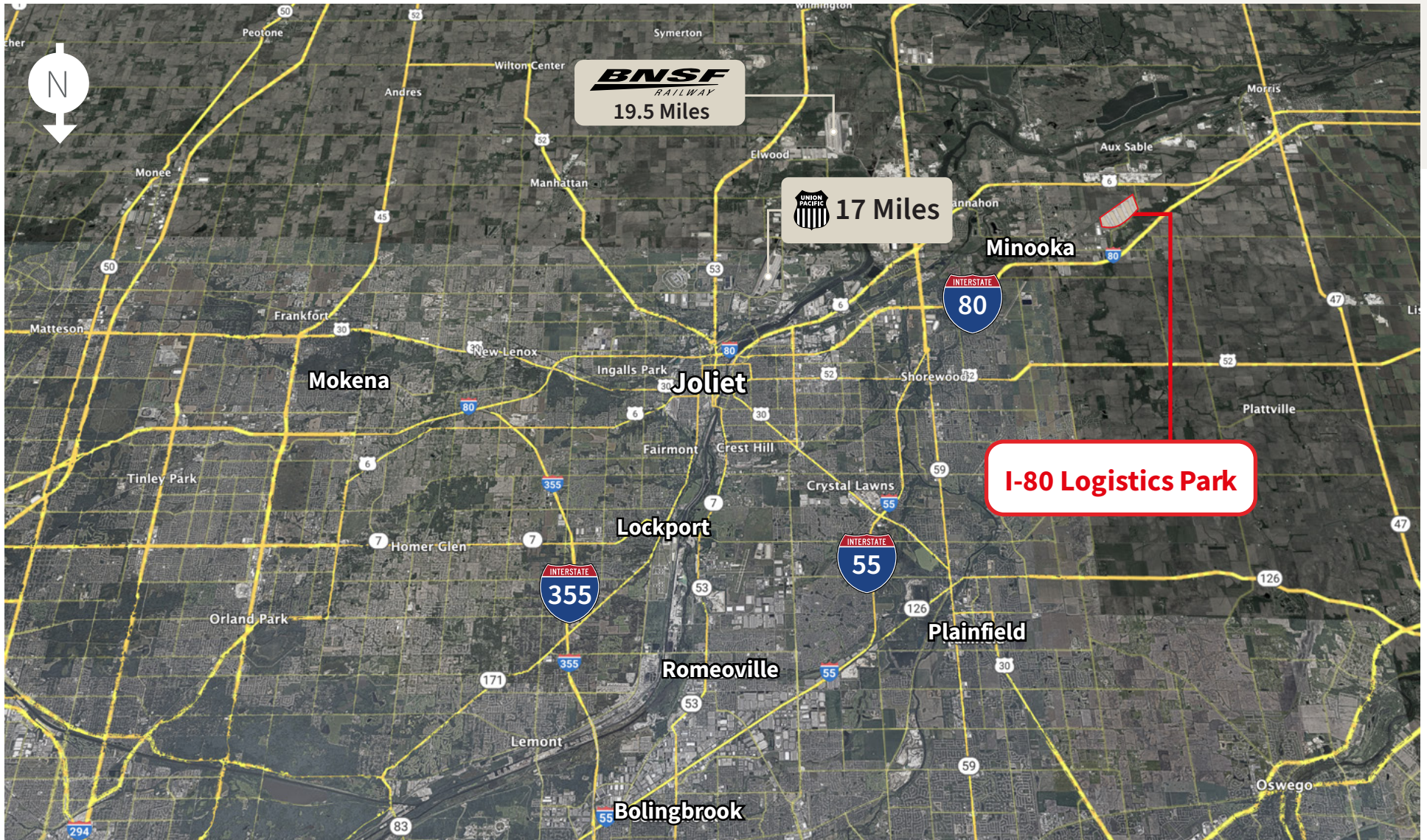
# Corporate neighbors



# Regional access



View North looking South





**Keith Stauber**  
 +1 773 458 1386  
 keith.stauber@jll.com

**Steve Ostrowski**  
 +1 773 458 1417  
 steve.ostrowski@jll.com



Although information has been obtained from sources deemed reliable, JLL does not make any guarantees, warranties or representations, express or implied, as to the completeness or accuracy as to the information contained herein. Any projections, opinions, assumptions or estimates used are for example only. There may be differences between projected and actual results, and those differences may be material. JLL does not accept any liability for any loss or damage suffered by any party resulting from reliance on this information. If the recipient of this information has signed a confidentiality agreement with JLL regarding this matter, this information is subject to the terms of that agreement. ©2022. Jones Lang LaSalle IP, Inc. All rights reserved.