

Prologis Minooka Business Park

Minooka, IL

500,000 – 1,200,000 Square Feet Available
Prime Build-To-Suit Opportunity



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500,000 – 1,200,000

square feet available

7.8 miles

to BNSF Intermodal

8.5 miles

to Union Pacific Intermodal

45 miles

to Chicago CBD

Park Description

- 2,191,552 SF planned industrial development
- Building 1: build-to-suit opportunity
- Building 2: build-to-suit opportunity
- Centrally located with ease of access for local, regional and national distribution

Building 1

- 1,002,000 SF (divisible) build-to-suit opportunity
- 36' clear height
- 128 docks expandable to 190
- 4 drive-in doors
- 343 auto stalls expandable to 555
- 236 trailer stalls expandable to 348

Building 2

- 1,189,552 SF (divisible) build-to-suit opportunity
- 36' clear height
- 152 docks expandable to 226
- 4 drive-in doors
- 472 auto stalls
- 283 trailer stalls

Highway Access

- 1.0 mile to I-80 coast to coast interstate
- 5.0 miles to I-80/I-55 four-way interchange

Location

- 7.8 miles to BNSF Intermodal
- 8.5 miles to Union Pacific Intermodal
- 45 miles to Chicago CBD

Zoning

- Fully entitled and improved industrial sites on 100+ acres

Illinois Enterprise Zone

- Investment tax credit
- Sales tax deduction
- Machinery & equipment sales tax deduction
- Utility and gas use exemption

EDPA Advantages

- Reimbursement of eligible costs for tax advantages such as:
 - property acquisition & assembly
 - site preparation & infrastructure improvement
 - relocation

Local Advantages

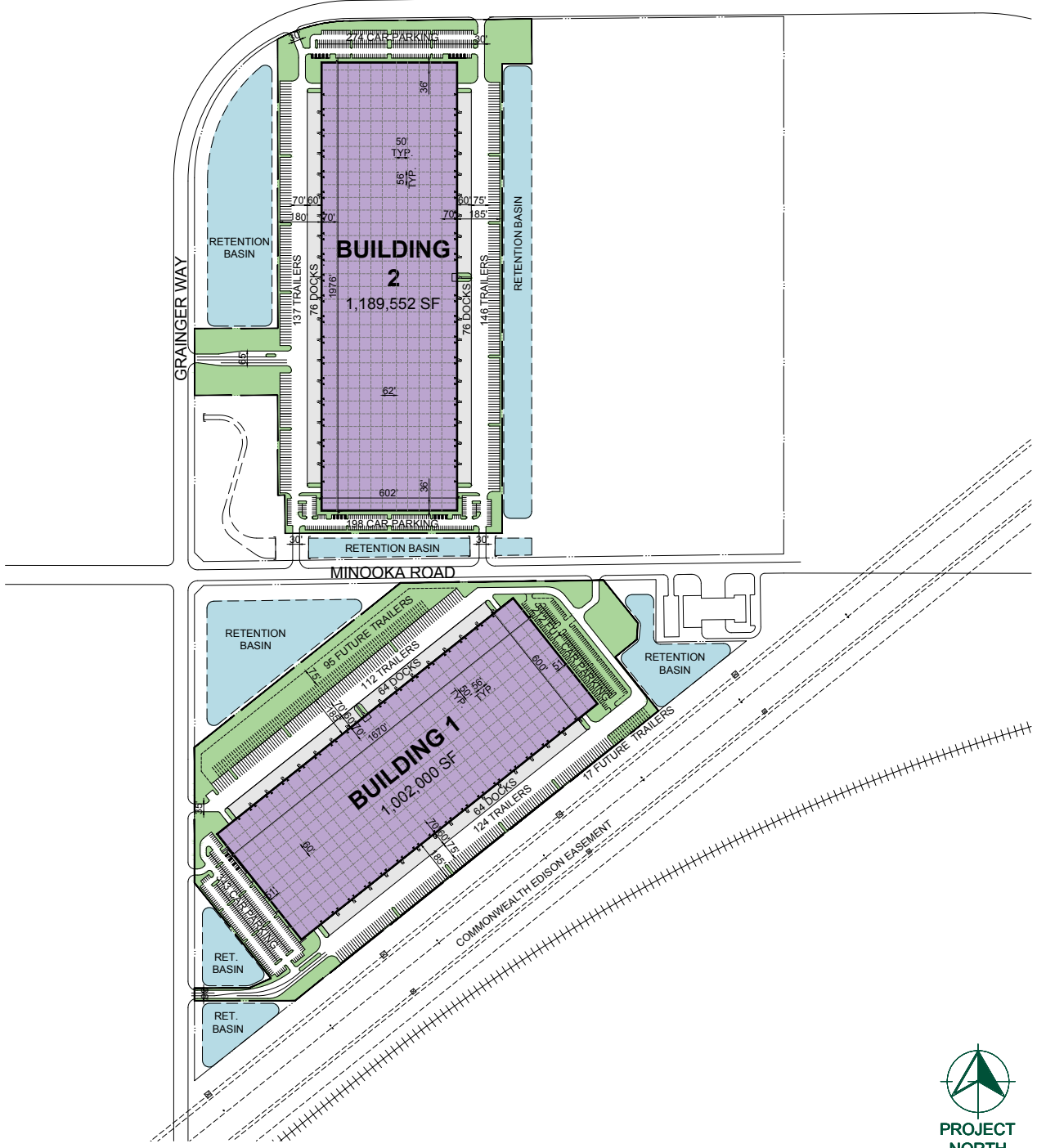
- Business friendly municipality
- Energy resources to power business
- Owned, developed and managed by Prologis

No warranty or representation, expressed or implied, is made as to the accuracy of the information contained herein, and same is submitted subject to error and omissions.





INTERSTATE 80



LEGEND

- ▲ Dock position
- △ Future dock (knock out)
- ◆ Drive-in door
- Planned
- Water
- Land

NOTE:
 THIS CONCEPTUAL PLAN IS FOR MARKETING PURPOSES ONLY, AND HAS BEEN PREPARED BASED ON PRELIMINARY AVAILABLE SITE INFORMATION DEEMED RELIABLE. ALL DIMENSIONS AND AREA CALCULATIONS ARE SUBJECT TO VERIFICATION BY A PROFESSIONAL ENGINEER FOR COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL REGULATIONS.



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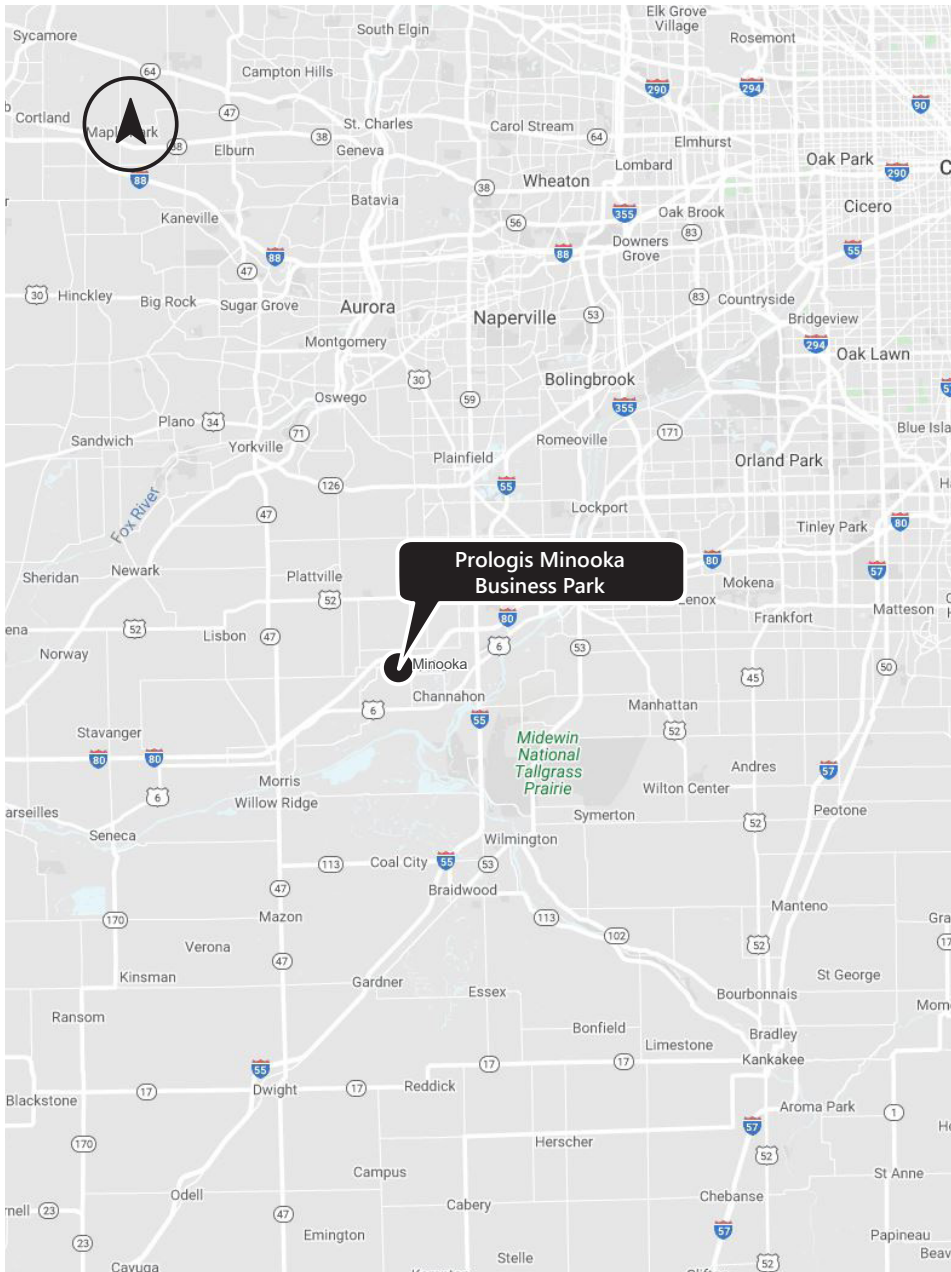


Advantages and Amenities

- **Superior Interstate Access:** Immediate access to the Ridge Road/I-80 Full Interchange via dedicated, truck-ready roads with signalized intersections
- **Major Highway Proximity:** Located only five (5) miles from the intersection of two of the country's major freight routes, I-80 and I-55
- **Excellent Visibility:** Direct frontage on I-80 creates commanding visibility and presence for companies located in the park
- **Competitive Economics:** Lower land costs and low Grundy County property taxes significantly reduce total occupancy costs within the park
- **Corporate Neighborhood:** Home to prominent corporate neighbors such as Kellogg's, W.W. Grainger, BMW, Trader Joe's, Ikea, Macy's and Electrolux
- **Tax Abatement:** Grundy County offers a pre-negotiated three-year property tax abatement to qualifying companies:
 - 75% during first fully assessed tax year
 - 50% during second fully assessed tax year
 - 25% during third fully assessed tax year

Grundy County offers four-year and five-year property tax abatements at 50% each to qualifying high-impact companies
- **High-Quality Construction:** State-of-the-art building amenities include 36' clear heights, pre-cast construction, ESFR sprinklers and attractive landscaping





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Prologis is the leading owner, operator and developer of industrial logistics real estate with approximately 965 million square feet (89 million square meters) owned and under management in 19 countries on four continents.